

To: Councillor Livingston (Chair)
Councillors Brock, Duveen, Gavin, Hopper,
Maskell, McKenna, Page, Pearce, Robinson,
Singh, Vickers, J Williams and R Williams

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30 January 2018

Your contact is: **Nicky Simpson - Committee Services**

NOTICE OF MEETING - PLANNING APPLICATIONS COMMITTEE - 7 FEBRUARY 2018

A meeting of the Planning Applications Committee will be held on Wednesday 7 February 2018 at 6.30 pm in the Council Chamber, Reading. The Agenda for the meeting is set out below.

Please note that with regard to the planning applications, the order in which applications are considered will be at the Chair's discretion, and applications on which members of the public have requested to speak are likely to be considered first.

AGENDA

	<u>ACTION</u>	<u>WARDS AFFECTED</u>	<u>PAGE NO</u>
1. MINUTES OF THE PLANNING APPLICATIONS COMMITTEE HELD ON 10 JANUARY 2018		-	1
2. DECLARATIONS OF INTEREST	-	-	-
3. QUESTIONS	-	-	-
4. POTENTIAL SITE VISITS FOR COMMITTEE ITEMS	DECISION	BOROUGHWIDE	8
5. PLANNING APPEALS	INFORMATION	BOROUGHWIDE	11
6. APPLICATIONS FOR PRIOR APPROVAL	INFORMATION	BOROUGHWIDE	18
7. QUARTERLY PERFORMANCE MONITORING REPORT - DEVELOPMENT MANAGEMENT SERVICE - Quarter 3 2017/18	INFORMATION	BOROUGHWIDE	28

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8.	STREET NAME ASSIGNMENT OFF CONWY CLOSE	DECISION	TILEHURST	33
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Planning Applications to be determined

Item(s)	Action	Ward(s)	Page
9	DECISION	ABBEY	43
10	DECISION	CHURCH	57
11	DECISION	KATESGROVE	113
12	DECISION	NORCOT	137
13-14	DECISION	REDLANDS	175
15	DECISION	THAMES	217
16	DECISION	WHITLEY	253

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Members of the public who participate in the meeting will be able to speak at an on-camera or off-camera microphone, according to their preference.

Please speak to a member of staff if you have any queries or concerns.

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SCHEDULE OF PLANNING APPLICATIONS TO BE DETERMINED

Planning Applications Committee - 7 February 2018

Item:	9
Page No:	43
Ward:	Abbey
Application Number	172119
Application Type	Full Planning Approval
Applicant	MBNL & EE Ltd
Address	35b Castle Street, Reading, RG1 7SB
Proposal	Installation of 2 no. Small Cabinets (1 Cabinet to be removed)
Recommendation	Application Permitted
Item:	9
Page No:	43
Ward:	Abbey
Application Number	172120
Application Type	Listed Building Consent
Applicant	MBNL & EE Ltd
Address	35b Castle Street, Reading, RG1 7SB
Proposal	Installation of 2 no. Small Cabinets (1 Cabinet to be removed)
Recommendation	Application Permitted
Item:	10
Page No:	57
Ward:	Church
Application Number	172045
Application Type	Full Planning Approval
Applicant	University of Reading
Address	St Patricks Hall, 20 Northcourt Avenue, Reading, RG2 7HB
Proposal	Construction of 836 new student bedrooms, a cafeteria/bar, bin and bike stores, sub-station and energy centre, together with a new access link and landscaping. Demolition of the existing student accommodation block at New Court, the SETS building, the warden's house, no. 4 Sherfield Drive, the reception and common room, (resubmission of application ref. 161182) (amended description).
Recommendation	Permitted subject to Legal Agreement
Item:	11
Page No:	113
Ward:	Katesgrove
Application Number	172118
Application Type	Full Planning Approval
Applicant	Silver Street Developments Ltd
Address	40 Silver Street, Reading, RG1 2ST
Proposal	Demolition of existing building and erection of a part 3 and part 4 storey (plus basement level) building to provide 62 studio rooms (sui generis use class) with associated ancillary space and landscaping works.
Recommendation	Application Refused

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BOROUGH WIDE

SCHEDULE OF PLANNING APPLICATIONS TO BE DETERMINED

Planning Applications Committee - 7 February 2018

Item: 12
Page No: 137
Ward: Norcot
Application Number: 171086
Application Type: Full Planning Approval
Applicant: The Trustees of Reading Community Church
Address: Grovelands Baptist Church, Oxford Road, Reading, RG30 1HJ
Proposal: Demolition of existing church buildings and redevelopment of the site to provide a four storey mixed use development comprised of community halls and ancillary accommodation at ground floor level, car parking and 2 x one bedroom flats and 10 x two bedroom flats at the upper floor levels.
Recommendation: Application Refused

Item: 13
Page No: 175
Ward: Redlands
Application Number: 171954
Application Type: Full Planning Approval
Applicant: McCarthy & Stone
Address: 3-5 Craven Road, Reading, RG1 5LE
Proposal: Demolition of existing buildings and redevelopment to form 25 Retirement Living units (C3 use) for older persons with communal facilities, parking and associated landscaping.
Recommendation: Application Refused

Item: 14
Page No: 206
Ward: Redlands
Application Number: 170705
Application Type: Householder
Applicant: Mrs Ranjit Singh Dhanda
Address: 83 Christchurch Road, Reading, RG2 7BD
Proposal: Proposed single storey flat roof rear and side extension resulting in an increase in the size of the C4 (Small HMO) from 4 to 5 bedrooms
Recommendation: Application Permitted

Item: 14
Page No: 206
Ward: Redlands
Application Number: 170706
Application Type: Householder
Applicant: Mrs Ranjit Singh Dhanda
Address: 83a Christchurch Road, Reading, RG2 7BD
Proposal: Proposed single storey flat roof rear and side extension resulting in an increase in the size of the C4 (Small HMO) from 4 to 5 bedrooms
Recommendation: Application Permitted

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SCHEDULE OF PLANNING APPLICATIONS TO BE DETERMINED

Planning Applications Committee - 7 February 2018

Item:	15
Page No:	217
Ward:	Thames
Application Number	172135
Application Type	Full Planning Approval
Applicant	Innova Schools Ltd
Address	1 Derby Road, Reading, RG4 5HE
Proposal	Change of use from physiotherapy clinic and residential to day School, ancillary to existing school at 14-16a Peppard road (retrospective). Single storey extension [amended description].
Recommendation	Permitted subject to Legal Agreement
Item:	16
Page No:	253
Ward:	Whitley
Application Number	171971
Application Type	Full Planning Approval
Applicant	The White Partnership
Address	1 Darwin Close, Reading, RG2 0TB
Proposal	Demolition of existing building and erection of two storey building for Class B1 and Class B8 uses with associated parking and hardstanding.
Recommendation	Permitted subject to Legal Agreement

KEY TO CODING OF PLANNING APPLICATIONS

1. Planning application reference numbers are made up of 2 parts.
 - 1.1 The number begins with the year e.g. 15
 - 1.2 This is followed by a consecutive number, showing what number the application is in any year (e.g. 150128).
2. The following is a key to existing officers with their direct dial telephone numbers.

GF1	-	Giorgio Framallicco	9372604
KAR	-	Kiaran Roughan	9374530
LEB	-	Lynette Baker	9372413
JW6	-	Julie Williams	9372461
RJE	-	Richard Eatough	9373338
JPM	-	Johnathan Markwell	9372458
SDV	-	Steve Vigar	9372980
CR2	-	Claire Ringwood	9374545
CJB	-	Christopher Beard	9372430
SGH	-	Stephen Hammond	9374424
MDW	-	Mark Worringham	9373337
AJA	-	Alison Amoah	9372286
SEH	-	Sarah Hanson	9372440
RSC	-	Ralph Chakadya	9372993
BXP	-	Boja Petkovic	9372352
MJB	-	Mathew Burns	9373625
HB3	-	Heather Banks	9374175
EH1	-	Ethne Humphreys	9374085
SKB	-	Sarah Burr	9374227
TRH	-	Tom Hughes	9374150
SFB	-	Susanna Bedford	9372023
NW2	-	Nathalie Weekes	9374237

**GUIDE TO USE CLASSES ORDER
and Permitted Changes of Use (England)**

Use Classes (Amendment) Order 2005	Use Classes Order 1972	Description	General Permitted Development (Amendment) Order 2005
A1 Shops	Class I	<ul style="list-style-type: none"> Shops, retail warehouses, hairdressers, undertakers, travel and ticket agencies, post offices, dry cleaners, internet cafes, etc. Pet shops, cat-meat shops, tripe shops, sandwich bars Showrooms, domestic hire shops, funeral directors 	No permitted changes
A2 Financial and Professional Services	Class II	<ul style="list-style-type: none"> Banks, building societies, estate and employment agencies Professional and financial services, betting offices 	Permitted change to A1 <i>where a ground floor display window exists</i>
A3 Restaurants and Cafes		Restaurants, snack bars, cafes	Permitted change to A1 or A2
A4 Drinking Establishments		Pubs and bars	Permitted change to A1, A2 or A3
A5 Hot Food Take-Aways		Take-Aways	Permitted change to A1, A2 or A3
Sui Generis		Shops selling and/or displaying motor vehicles, retail warehouse clubs, laundrettes, taxi or vehicle hire businesses, amusement centres, petrol filling stations	No permitted change
B1 Business	Class II Class III	(a) Offices, not within A2 (b) Research and development, studios, laboratories, high tech (c) Light industry	Permitted change to B8 <i>where no more than 235m</i>
B2 General industry	Class IV-IX	General industry	Permitted change to B1 or B8 <i>B8 limited to no more than 235m</i>
B8 Storage or Distribution	Class X	Wholesale warehouse, distribution centres, repositories	Permitted change to B1 <i>where no more than 235m</i>
Sui Generis		Any work registrable under the Alkali, etc. Works Regulation Act, 1906	No permitted change
C1 Hotels	Class XI	Hotels, boarding and guest houses	No permitted change
C2 Residential Institutions	Class XII Class XIV	<ul style="list-style-type: none"> Residential schools and colleges Hospitals and convalescent/nursing homes 	No permitted change
C2A Secure residential institutions		Prisons, young offenders institutions, detention centres, secure training centres, custody centres, short-term holding centres, secure hospitals, secure local authority accommodation or use as military barracks.	No permitted change
C3 Dwelling houses		<ul style="list-style-type: none"> Single occupancy or single households (in the family sense); No more than six residents living as a single household where care is provided; No more than six residents living as a single household where the building is managed by a local housing authority, a registered social landlord, a police authority, a fire authority, or a health service body. 	Permitted to change to C4
C4 Houses in multiple occupation		Use of a dwellinghouse by between three and six residents, who do not form a single household (in the family sense) and share basic facilities (toilet, bathroom or kitchen).	Permitted to change to C3
Sui Generis		<ul style="list-style-type: none"> House in multiple occupation with more than six residents Hostel 	No permitted change

D1 Non-Residential Institutions	Class XIII	<ul style="list-style-type: none"> • Places of worship, church halls • Clinics, health centres, creches, day nurseries, consulting rooms • Museums, public halls, libraries, art galleries, exhibition halls • Non-residential education and training centres 	No permitted change
	Class XV		
	Class XVI		
D2 Assembly and Leisure	Class XVII	<ul style="list-style-type: none"> • Cinemas, music and concert halls • Dance, sports halls, swimming baths, skating rinks, gymnasiums • Other indoor and outdoor sports and leisure uses, bingo halls, casinos 	No permitted change
	Class XVIII		
Sui Generis	Class XVII	Theatres, nightclubs	No permitted change

Present: Councillor Livingston (Chair);

Councillors Brock, Duveen, Gavin, Hopper, Maskell, McKenna, Page, Singh, J Williams and R Williams.

Apologies: Councillors Pearce and Vickers.

RESOLVED ITEMS

46. MINUTES

The Minutes of the meeting held on 6 December 2017 were agreed as a correct record and signed by the Chair.

47. SITE VISITS

The Director of Environment and Neighbourhood Services submitted, at the meeting, a schedule of applications to be considered at future meetings of the Committee to enable Councillors to decide which sites, if any, they wished to visit prior to determining the relevant applications.

Resolved -

- (1) That the under-mentioned applications, together with any additional applications which the Head of Planning, Development and Regulatory Services might consider appropriate, be the subject of unaccompanied site visits:

171814/FUL - COX & WYMAN LTD, CARDIFF ROAD

Demolition of existing site buildings and boundary treatments and erection of 96 no. dwellings including associated surface car parking, public realm and landscaping on land at the former Cox & Wyman building, Cardiff Road.

171923/OUT - COOPER READING BMW, KINGS MEADOW ROAD

Outline erection of 12 storey landmark office building with publicly-accessible sky garden, car and cycle parking, and associated works (all matters for consideration other than landscaping).

- (2) That the under-mentioned application, together with any additional applications which the Head of Planning, Development and Regulatory Services might consider appropriate, be the subject of an accompanied site visit:

171719/FUL - 39 BRUNSWICK HILL

Erection of part two/part three storey building containing 10 no. apartments with parking at rear following demolition of existing buildings.

48. PLANNING APPEALS

(i) New Appeals

The Director of Environment and Neighbourhood Services submitted a schedule giving details of notification received from the Planning Inspectorate regarding six planning appeals, the method of determination for which she had already expressed a preference in accordance with delegated powers, which was attached as Appendix 1 to the report.

(ii) Appeals Recently Determined

The Director of Environment and Neighbourhood Services submitted details of a decision that had been made by the Secretary of State, or by an Inspector appointed for the purpose, which was attached as Appendix 2 to the report.

(iii) Report on Appeal Decisions

There were no reports on appeal decisions.

Resolved -

- (1) That the new appeals, as set out in Appendix 1, be noted;
- (2) That the outcome of the recently determined appeal, as set out in Appendix 2, be noted.

49. APPLICATIONS FOR PRIOR APPROVAL

The Director of Environment and Neighbourhood Services submitted a report giving details in Table 1 of 16 pending prior approval applications, and in Table 2 of five applications for prior approval decided between 24 November and 21 December 2017.

Resolved - That the report be noted.

50. STREET NAME ASSIGNMENT OFF CONWY CLOSE

The Director of Environment and Neighbourhood Services submitted a report for the Committee to select two street names for a development off Conwy Close. A plan of the development and a list of approved street names were attached to the report.

Resolved - That consideration of the report be deferred to the next meeting.

51. PLANNING APPLICATIONS

The Committee considered reports by the Director of Environment and Neighbourhood Services.

Resolved -

- (1) That, subject to the conditions now approved, permission be granted under planning legislation and, where appropriate, under the Advertisement Regulations, as follows:

171230/FUL - BROAD STREET MALL, BROAD STREET

Erection of a temporary two and part three-storey building (constructed using shipping containers) to create a mixed-use urban market comprising Retail (Use Class A1) and Restaurants/Cafés (Use Class A3), including use of external spaces at roof level; Refuse store, cycle parking and associated works (amended description).

An update report was tabled at the meeting which gave details of an additional response from the Thames Valley Police Crime Prevention Design Adviser to recent information received from the applicant and officer comments on this. It also gave an update on conditions, proposing minor updates and clarifications to four conditions, and setting out the full wording of the proposed events strategy condition. It was clarified at the meeting that the five years of the temporary permission would begin at the grant of the planning permission.

Granted temporary planning permission as recommended.

Conditional planning permission and informatives as recommended in the original report, as amended by the update report.

Comments and objections received and considered.

171347/FUL - TROOPER POTTS WAY

Proposed installation of a telecommunications base station - 8.5m stub mast supporting six antenna, three dishes together with associated cabinets and ancillary development.

Granted as recommended.

Conditional planning permission and informatives as recommended.

171677/COU - 1 UPPER REDLANDS ROAD

Change of use from small House in Multiple Occupation (C4) to a large Sui Generis House in Multiple Occupation comprising 8 bedrooms and one studio room for up to a maximum of 12 persons (amended).

It was reported verbally at the meeting that the tree to the front of the property had a Tree Protection Order (TPO), and an additional informative was therefore proposed regarding any works to the tree.

Granted as recommended.

Conditional planning permission and informatives as recommended.

Additional informative advising that the permission did not allow works to the TPO tree to the front of the property, and any works to the tree would require separate

TPO consent.

Comments and objections received and considered.

The Committee requested that, once the management agreement had been submitted and approved, officers send to objectors, via email, a link to the relevant approved document.

Objector Kevin Webb, and Simon Dimmick on behalf of the applicant, attended the meeting and addressed the Committee on this application.

(2) That the following application be refused for the reasons indicated:

171893/FUL - THE WOODLEY ARMS PH, WALDECK STREET

Erection of two buildings to accommodate a total of 38 student units of accommodation, including parking, amenity space and landscaping, following demolition of existing former public house.

An update report was tabled at the meeting which gave details of three further objections received, one of which was appended to the update report, and set out an additional reason for refusal which had been omitted from the original report.

Refused for the following reasons:

1. The proposed buildings, by reason of their noticeably greater scale, bulk and massing compared to existing buildings either side and opposite, and their uncharacteristic layout, poor quality detailing and prominent position, would result in an overly dominant, alien and jarring feature within the streetscene, with consequent unacceptable harm to the character and appearance of the area. As such the proposal was contrary to Policy CS7 of the Reading Borough LDF Core Strategy and para. 17 of the NPPF.
2. In the absence of a completed legal agreement to secure:
 - i) an acceptable mitigation plan or equivalent contribution towards the provision of Employment, Skills and Training for the construction phase of the development;
 - ii) a travel plan and highway alterations;
 - iii) a restriction on occupancy to students only;
 - iv) implementation of the student accommodation management plan.

the proposal failed to provide adequate controls over the use of the development, including its highways and other travel impacts, contrary to Policies DM4, DM12, CS20, CS22, CS23 and CS24 and the Revised Parking Standards and Design SPD 2011. The proposal also failed to contribute adequately to the employment, skills or training needs of local people with associated socioeconomic harm, contrary to Policies CS3, CS9, DM3 and the Employment Skills and Training SPD (2013).

Informatives as set out in the original report.

Comments and objections received and considered.

Objector Cheryl Dibden attended the meeting and addressed the Committee on this application.

- (3) That, subject to the requirements indicated, the Head of Planning, Development and Regulatory Services be authorised to determine the following applications under planning legislation:

162355/FUL - 470-478 OXFORD ROAD

Demolition of an existing retail unit, ancillary warehouse and residential unit and the erection of a retail unit (Class A1) and nine new residential flats (Class C3) with associated parking, amenity space and landscaping (amended description).

An update report was tabled at the meeting which gave details of the outcome of discussions on affordable housing viability and Section 106 contributions and corrected the proposed date for agreement of the Section 106 agreement. The recommendations had been amended accordingly.

The issue of planning permission to be dependent on the completion of a Section 106 legal agreement by 13 March 2018 (unless a later date be agreed by the Head of Planning, Development and Regulatory Services), to secure the Heads of Terms set out in the update report.

In the event of the requirements set out not being met, the Head of Planning, Development and Regulatory Services be authorised to refuse permission.

Conditional planning permission and informatives as recommended in the original report.

Comments received and considered.

- (4) That the Secretary of State for Communities and Local Government be consulted on the following application and supporting papers in accordance with paragraphs 9 and 10 of the Town and Country Planning (Consultation) (England) Direction 2009:

170509/FUL - KENAVON DRIVE

Demolition of the two existing retail (Homebase and former Toys R Us) structures and the erection of new buildings ranging between 2 and 11 storeys in height, providing 765 (18 x studio, 302x1, 409x2 and 36x3-bed) residential units (Class C3), 5 commercial units (1x flexible Class A1-A4, B1 or D1-D2, 1x flexible D1 or D2, 1x flexible Class A1-A5, 1x flexible Class A3 or A4, 1x flexible A1-A5 or D1-D2 uses), various works to the public realm, including a new riverside square, landscaping, accesses, parking and associated works. This application is accompanied by an Environmental Statement. (amended description).

An update report was tabled at the meeting which set out details of two further

public consultation responses received.

That the Head of Planning, Development and Regulatory Services be authorised to grant permission in the event that:

- i) The Secretary of State decided not to call in the application for determination; or
- ii) The period in which the Secretary of State may respond under paragraph 11 of the Town and Country Planning (Consultation) (England) Direction 2009 expired.

The issue of planning permission to be dependent on the completion of a Section 106 legal agreement by 24 January 2018 (unless a later date be agreed by the Head of Planning, Development and Regulatory Services), to secure the Heads of Terms set out in the report.

In the event of the requirements set out not being met, the Head of Planning, Development and Regulatory Services be authorised to refuse permission.

Conditional planning permission and informatives as recommended.

Materials to be brought back to Committee for approval.

Comments and objections received and considered.

Objectors Dennis Vincent, and Graham Puddephatt on behalf of the Kennet & Avon Canal Trust, and Maxine Powell on behalf of the applicant, attended the meeting and addressed the Committee on this application.

(Councillor Duveen declared a non-pecuniary interest in this item. Nature of interest: Councillor Duveen's son worked for Network Rail.)

52. EXCLUSION OF THE PRESS AND PUBLIC

Resolved -

That, pursuant to Section 100A of the Local Government Act 1972 (as amended), members of the press and public be excluded during consideration of item 53 as it was likely that there would be a disclosure of exempt information as defined in the relevant paragraphs of Part 1 of Schedule 12A (as amended) of the Act.

53. PLANNING ENFORCEMENT QUARTERLY UPDATE

The Director of Environment and Neighbourhood Services submitted a report on the current status of all outstanding enforcement notices/prosecutions, including cases where formal enforcement action and/or prosecutions had been undertaken but where the action taken had not yet resolved the breach of planning control. An overview of all outstanding cases involving formal action was attached at Appendix 1.

Resolved - That the report be noted.

(Exempt information as defined in paragraphs 6 & 7).

PLANNING APPLICATIONS COMMITTEE MINUTES - 10 JANUARY 2018

(The meeting started at 6.30 pm and closed at 8.33 pm).

**READING BOROUGH COUNCIL
REPORT BY DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES**

TO:	PLANNING APPLICATIONS COMMITTEE		
Date:	7 February 2018	AGENDA ITEM:	4
TITLE:	POTENTIAL SITE VISITS FOR COMMITTEE ITEMS		
SERVICE:	PLANNING	WARDS:	BOROUGH WIDE
AUTHOR:	Kiaran Roughan	TEL:	0118 9374530
JOB TITLE:	Planning Manager	E-MAIL:	kiaran.roughan@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To identify those sites where, due to the sensitive or important nature of the proposals, Councillors are advised that a Site Visit might be appropriate before the meeting of the next Committee (or at a future date) and to confirm how the visit will be arranged.

2. RECOMMENDED ACTION

- 2.1 That you resolve to visit the sites which will be identified by officers in a paper in the update Agenda on the day of the forthcoming Planning Applications Committee and confirm if there are any other sites Councillors consider necessary to visit before reaching a decision on an application.
- 2.2 That you confirm how the site will be visited, unaccompanied or accompanied, and if accompanied agree the site visit date and time.

3. THE PROPOSAL

- 3.1 The potential list of agenda items submitted since the last meeting of the Planning Applications Committee will be provided with the update Agenda on the day of forthcoming Planning Applications Committee. Where appropriate, I will identify those applications that I feel warrant a site visit by the Committee prior to formal consideration of the proposals.
- 3.2 Councillors may also request a site visit to other sites on that list if they consider it relevant to their ability to reach a decision on the application.
- 3.3 Officers may also recommend a site visit if they intend to report a normally delegated application to the Committee for a decision.
- 3.4 A site visit may also be proposed in connection with a planning enforcement issue which is before the Committee for consideration.
- 3.5 Site visits in the above circumstances should all take place in advance of a Committee decision and should only be used where the expected benefit is substantial.

- 3.6 A site visit is only likely to be necessary if the impact of the proposed development is difficult to visualise from the plans and any supporting material including photographs taken by officers (although, if this is the case, additional illustrative material should have been requested); or, there is a good reason why the comments of the applicant and objectors cannot be expressed adequately in writing; or, the proposal is particularly contentious.
- 3.7 Accompanied site visits consist of an arranged inspection by a viewing Committee, with officers in attendance and by arrangement with the applicant or their agent. Applicants and objectors however will have no right to speak but may observe the process and answer questions when asked. The visit is an information gathering opportunity and not a decision making forum.
- 3.8 Recently Councillors have expressed a preference to carry out unaccompanied site visits, where the site is easily viewable from public areas, to enable them to visit the site when convenient to them. In these instances the case officer will provide a briefing note on the application and the main issues to be considered by Councillors when visiting the site.
- 3.9 There may also be occasions where officers or Councillors request a post completion site visit in order to review the quality or impact of a particular development.

4. CONTRIBUTION TO STRATEGIC AIMS

- 4.1 Planning services contribute to producing a sustainable environment and economy within the Borough and to meeting the 2015 -18 Corporate Plan objective for “Keeping the town clean, safe, green and active.” Under the heading, Neighbourhoods, the Corporate Plan aims to improve the physical environment - the cleanliness of our streets, places for children to play, green spaces, how we feel about our neighbourhood and whether we feel safe, have a sense of community and get on with our neighbours.

5. COMMUNITY ENGAGEMENT AND INFORMATION

- 5.1 Statutory neighbour consultation takes place on planning applications.

6. EQUALITY IMPACT ASSESSMENT

- 6.1 Officers when assessing an application and when making a recommendation to the Committee, will have regard to its duties Under the Equality Act 2010, Section 149, to have due regard to the need to—
- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

7. LEGAL IMPLICATIONS

- 7.1 None arising from this report.

8. FINANCIAL IMPLICATIONS

8.1 The cost of site visits is met through the normal planning service budget.

9. BACKGROUND PAPERS

Reading Borough Council Planning Code of Conduct.

Local Safety Practice 2013 Planning Applications Committee site visits.

READING BOROUGH COUNCIL

REPORT BY DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES

TO:	PLANNING APPLICATIONS COMMITTEE		
DATE:	7 February 2018	AGENDA ITEM:	5
TITLE:	PLANNING APPEALS		
AUTHOR:	Kiaran Roughan	TEL:	0118 9374530
JOB TITLE:	Planning Manager	E-MAIL:	Kiaran.roughan@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To report notifications received from the Planning Inspectorate on the status of various planning appeals.

2. RECOMMENDED ACTION

- 2.1 That you note the appeals received and the method of determination as listed in Appendix 1 of this report.
- 2.2 That you note the appeals decided as listed in Appendix 2 of this report.
- 2.3 That you note the Planning Officers reports on appeal decisions provided in Appendix 3 of this report.

3. INFORMATION PROVIDED

- 3.1 Please see Appendix 1 of this report for new appeals lodged since the last committee.
- 3.2 Please see Appendix 2 of this report for new appeals decided since the last committee.
- 3.3 Please see Appendix 3 of this report for new Planning Officers reports on appeal decisions since the last committee.

4. CONTRIBUTION TO STRATEGIC AIMS

- 4.1 Defending planning appeals made against planning decisions contributes to producing a sustainable environment and economy within the Borough and to meeting the 2015 -18 Corporate Plan objective for “Keeping the town clean, safe, green and active.”

5. COMMUNITY ENGAGEMENT AND INFORMATION

5.1 Planning decisions are made in accordance with adopted local development plan policies, which have been adopted by the Council following public consultation. Statutory consultation also takes place on planning applications and appeals and this can have bearing on the decision reached by the Secretary of State and his Inspectors. Copies of appeal decisions are held on the public Planning Register.

6. EQUALITY IMPACT ASSESSMENT

6.1 Where appropriate the Council will refer in its appeal case to matters connected to its duties Under the Equality Act 2010, Section 149, to have due regard to the need to—

- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

7. LEGAL IMPLICATIONS

7.1 Public Inquiries are normally the only types of appeal that involve the use of legal representation. Only applicants have the right to appeal against refusal or non-determination and there is no right for a third party to appeal a planning decision.

8. FINANCIAL IMPLICATIONS

8.1 Public Inquiries and Informal Hearings are more expensive in terms of officer and appellant time than the Written Representations method. Either party can be liable to awards of costs. Guidance is provided in Circular 03/2009 “Cost Awards in Appeals and other Planning Proceedings”.

9. BACKGROUND PAPERS

9.1 Planning Appeal Forms and letters from the Planning Inspectorate.

APPENDIX 1

Appeals Lodged:

WARD: WHITLEY
APPEAL NO: APP/E0345/D/17/3187540
CASE NO: 171074
ADDRESS: 46 Stockton Road
PROPOSAL: Single storey rear extension
CASE OFFICER: Tom Hughes
METHOD: Written Representations
APPEAL TYPE: HOUSEHOLDER REFUSAL
APPEAL LODGED: 11.01.2018

WARD: CHURCH
APPEAL NO: APP/E0345/D/17/3184513
CASE NO: 170609
ADDRESS: 8 Benson Close
PROPOSAL: A new build 3 bedroom house beside the existing No 8 Benson Close
CASE OFFICER: Claire Ringwood
METHOD: Written Representations
APPEAL TYPE: REFUSAL
APPEAL LODGED: 11.01.2018

WARD: ABBEY
APPEAL NO: APP/E0345/D/17/3190722
CASE NO: 161430
ADDRESS: 179 Oxford Road
PROPOSAL: Rear extension to second floor to enlarge 2x1 bedroom flats on approved application ref: 11/01564/FUL into 2x2 bedroom flats.
CASE OFFICER: Ethne Humphreys
METHOD: Written Representations
APPEAL TYPE: REFUSAL
APPEAL LODGED: 11.01.2018

WARD: ABBEY
APPEAL NO: APP/E0345/W/17/3188270
CASE NO: 170251
ADDRESS: City Wall House 26 West Street
PROPOSAL: Change of use of fourth and fifth floors from C1 (hotel) to 10 no. C3 (residential) apartments with minor internal alterations

CASE OFFICER: Richard Eatough
METHOD: Written Representations
APPEAL TYPE: REFUSAL
APPEAL LODGED: 11.01.2018

WARD: ABBEY
APPEAL NO: APP/E0345/W/17/3189394
CASE NO: 170975
ADDRESS: 48 Watlington Street
PROPOSAL: Part single- part two-storey rear extension and conversion of enlarged existing HMO to form a six-person HMO above a self-contained basement flat.

CASE OFFICER: Richard Eatough
METHOD: Written Representations
APPEAL TYPE: REFUSAL
APPEAL LODGED: 11.01.2018

WARD: ABBEY
APPEAL NO: APP/E0345/W/17/Z/3188850
CASE NO: 171213
ADDRESS: Land at Reading Bridge House, land at the junction of Reading Bridge & Napier Road
PROPOSAL: Erection of a freestanding internally illuminated 48-sheet digital LED display measuring 6m by 3m

CASE OFFICER: Matthew Burns
METHOD: Written Representations
APPEAL TYPE: REFUSAL ADVERTISING
APPEAL LODGED: 17.01.2018

APPENDIX 2

Appeals Decided:

WARD: Thames
APPEAL NO: APP/TPO/E0345/6361
CASE NO: 171199/TPO
ADDRESS: 10 Dellwood Park, Caversham
PROPOSAL: Fell one Lime tree in the rear garden
CASE OFFICER: Sarah Hanson
METHOD: Written Representation
DECISION: Dismissed
DATE DETERMINED: 20.12.2017

APPENDIX 3

Address Index of Planning Officers reports on appeal decisions.

10 Dellwood Park

Planning Officers reports on appeal decisions attached.

Ward: Thames
Appeal No: APP/TPO/E0345/6361
Planning Ref: 171199/TPO
Site: 10 Dellwood Park, Caversham, Reading, RG4 7NX
Proposal: Application to fell one Lime tree in the rear garden.
Decision level: Delegated
Method: Written representations
Decision: Appeal dismissed
Date Determined: 20 December 2016
Inspector: Nigel Harrison BA (Hons) MRTPI

SUMMARY OF DECISION

The application related to the felling of one mature Lime tree in the rear garden of 10 Dellwood Park. The reason for the proposal was due to the mess created by the tree from leaves, seeds and honeydew. The application was refused by Officers on 31 July 2017.

Officers undertook an exercise to ensure that the tree was still worthy of a TPO following its retention as part of the overall tree coverage when Dellwood Park was built and concluded that its amenity value and condition meant the tree continued to warrant a TPO. The nuisance issues raised are commonly cited reasons for tree works and are not normally reasons, on their own, to fell a healthy tree of high amenity value, particularly where work is deemed possible to alleviate these concerns as it was in this case. Officers allowed lesser works of crown lifting and a height reduction of 2m with associated shaping of the crown sides.

The Inspector considered the main issues in this case were the impact of the removal of the Lime tree on the character and appearance of the area, and whether sufficient justification had been demonstrated for the proposed felling.

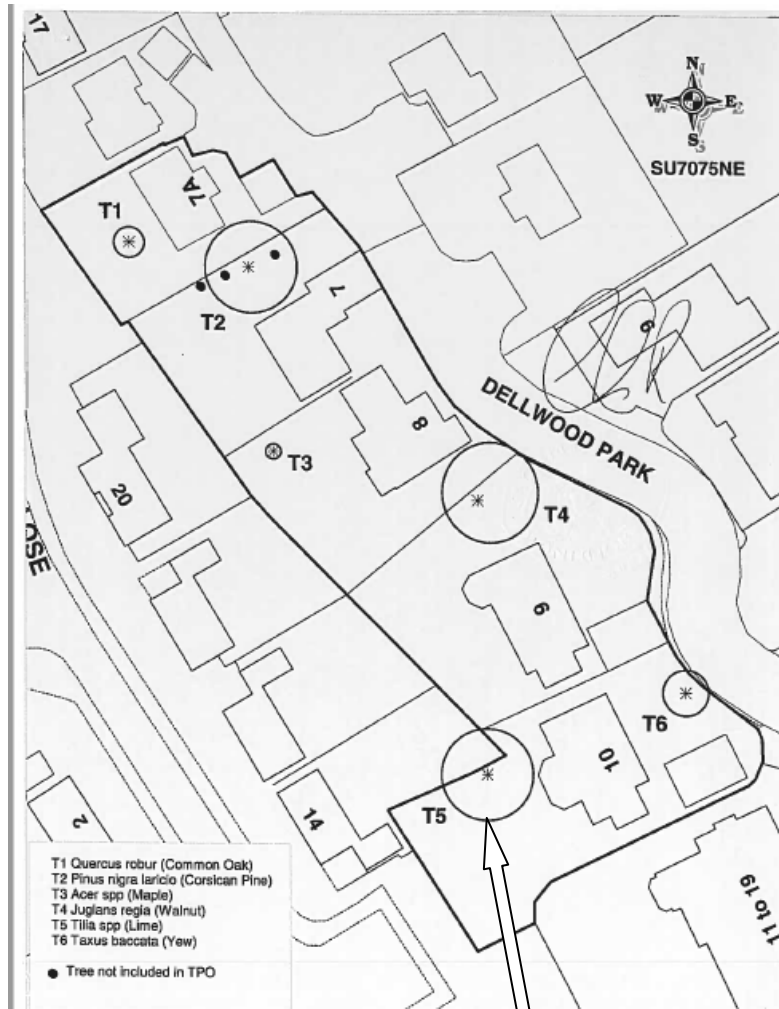
The Inspector stated that *'the substantial pruning work permitted by the Council would result in a less dense crown which would reduce the tree's impact and reduce the 'nuisance' factors proportionately'* and concluded that *'having considered all matters, I conclude that the loss of this Lime tree would result in significant harm being caused to the character and appearance of the area. Insufficient justification has been provided to fell the tree and the appeal should be dismissed'*.

HPBC COMMENTS ON THE DECISION:

The support of the Inspector is welcome, in view of the reasons for the felling, given the loss of amenity that would have resulted from the removal of this mature tree from the vicinity. It was of particular interest that the Inspector commented that *'problems arising from leaf fall and debris are not uncommon in an area where mature trees contribute towards making an area an attractive place to live, and in any event, the appellant would have purchased the property in the knowledge of the presence of the tree, and the sylvan setting to which it contributes'* as previous appeal decisions have dismissed any argument presented by Officers relating to a house purchaser being aware of the implications of taking on a house with a tree.

Case Officer: Sarah Hanson

Site Plan:



TPO plan for TPO 17/15

Appeal tree (T5)

READING BOROUGH COUNCIL

REPORT BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES

TO:	PLANNING APPLICATIONS COMMITTEE		
DATE:	7 February 2018	AGENDA ITEM:	6
TITLE:	APPLICATIONS FOR PRIOR APPROVAL		
AUTHOR:	Lynette Baker & Julie Williams		
JOB TITLE:	Area Team Leaders	E-MAIL:	Julie.williams@reading.gov.uk Lynette.baker@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To advise Committee of new applications and decisions relating to applications for prior-approval under the amended Town and Country Planning (General Permitted Development) Order (GPDO 2015).

2. RECOMMENDED ACTION

- 2.1 That you note the report.

3. BACKGROUND

- 3.1 At your meeting on 29 May 2013 a report was presented which introduced new permitted development rights and additional requirements for prior approval from the local planning authority for certain categories of permitted development. It was agreed then that a report be brought to future meetings for information and to include details of applications received for prior approval, those pending a decision and those applications which have been decided since the last Committee date.

4 TYPES OF PRIOR APPROVAL APPLICATIONS

- 4.1 The categories of development requiring prior approval under the Town and Country Planning (General Permitted Development)(England) Order 2015, or amended by the Town and Country Planning (General Permitted Development)(England)(Amendment) Order 2016 that are of most relevance to Reading Borough are summarised as follows:

- Householder development - single storey rear extensions. GPDO Part 1, Class A1(g-k).
- Change of use from A1 shops or A2 financial & professional, betting office, pay day loan shop or casino to A3 restaurants and cafes. GPDO Part 3 Class C.
- Change of use from A1 shops or A2 financial & professional, betting office or pay day loan shop to Class D2 assembly & leisure. GPDO Part 3 Class J.
- Change of use from A1 shops or A2 financial and professional or a mixed use of A1 or A2 with dwellinghouse to Class C3 dwellinghouse. GPDO Part 3 Class M*
- Change of use from an amusement arcade or a casino to C3 dwellinghouse & necessary works. GPDO Part 3 Class N
- Change of use from B1 office to C3 dwellinghouse GPDO Part 3, Class O*.
- Change of use from B8 storage or distribution to C3 dwellinghouse GPDO Part 3, Class P

- Change of use from B1(c) light industrial use to C3 dwellinghouse GPDO Part 3, Class PA*
- Change of use from agricultural buildings and land to Class C3 dwellinghouses and building operations reasonably necessary to convert the building to the C3 use. GPDO Part 3 Class Q.
- Change of use of 150 sq m or more of an agricultural building (and any land within its curtilage) to flexible use within classes A1, A2, A3, B1, B8, C1 and D2. GPDO Part 3 Class R.
- Change of use from Agricultural buildings and land to state funded school or registered nursery D1. GPDO Part 3 Class S.
- Change of use from B1 (business), C1 (hotels), C2 (residential institutions), C2A (secure residential institutions and D2 (assembly and leisure) to state funded school D1. GPDO Part 3 Class T.
- Temporary use of buildings for film making for up to 9 months in any 27 month period. GPDO Part 4 Class E
- Development under local or private Acts and Orders (e.g. Railways Clauses Consolidation Act 1845). GPDO Part 18.
- Development by telecommunications code system operators. GPDO Part 16.
- Demolition of buildings. GPDO Part 11.

4.2 Those applications for Prior Approval received and yet to be decided are set out in the appended Table 1 and those applications which have been decided are set out in the appended Table 2. The applications are grouped by type of prior approval application. Information on what the estimated equivalent planning application fees would be is provided.

4.3 It should be borne in mind that the planning considerations to be taken into account in deciding each of these types of application are specified in more detail in the GDPO. In some cases the LPA will first need to confirm whether or not prior approval is required before going on to decide the application on its planning merits where prior approval is required.

4.4 Details of any appeals on prior-approval decision will be included elsewhere in the agenda.

5. CONTRIBUTION TO STRATEGIC AIMS

5.1 Changes of use brought about through the prior approval process are beyond the control or influence of the Council's adopted policies and Supplementary Planning Documents. Therefore it is not possible to confirm how or if these schemes will contribute to the strategic aims of the Council.

6. COMMUNITY ENGAGEMENT AND INFORMATION

6.1 Statutory consultation takes place in connection with applications for prior-approval as specified in the Order discussed above.

7 EQUALITY IMPACT ASSESSMENT

7.1 Where appropriate the Council must have regard to its duties under the Equality Act 2010, Section 149, to have due regard to the need to—

- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

7.2 There are no direct implications arising from the proposals.

8. LEGAL IMPLICATIONS

8.1 None arising from this Report.

9. FINANCIAL IMPLICATIONS

9.1 Since the additional prior notifications were introduced in May 2013 in place of applications for full planning permission, the loss in fee income is estimated to be £894,053

(Office Prior Approvals - £822,437: Householder Prior Approvals - £56,932:
Retail Prior Approvals - £5275: Demolition Prior Approval - £2135: Storage Prior
Approvals - £5350: Shop to Restaurant Prior Approval - £1520: Shop to Leisure Prior
Approval - £305)

Figures since last report

Office Prior Approvals - £305: Householder Prior Approvals - £1032

9.2 However it should be borne in mind that the prior notification application assessment process is simpler than would have been the case for full planning permission and the cost to the Council of determining applications for prior approval is therefore proportionately lower. It should also be noted that the fee for full planning applications varies by type and scale of development and does not necessarily equate to the cost of determining them.

10. BACKGROUND PAPERS

The Town and Country Planning (General Permitted Development) (England) Order 2015

Town and Country Planning (General Permitted Development)(England)(Amendment) Order 2016.

Table 1 - Prior-approval applications pending @ 24 January 2018

Application type CLASS A - Householder

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Householder Prior Approval - Class A, Part 1 GPDO 2015	180061	13 Charles Street, Reading, RG1 7DB	Abbey	Rear extension measuring 6.0m in depth, with a maximum height of 4.0m, and 2.5m in height to eaves level.	11/01/2018	21/02/2018		£172
Householder Prior Approval - Class A, Part 1 GPDO 2015	172299	45 Francis Street, Reading, RG1 2QB	Katesgrove	Rear extension measuring 3.345m in depth, with a maximum height of 3.10m, and 3m in height to eaves level.	19/12/2017	31/01/2018		£172
Householder Prior Approval - Class A, Part 1 GPDO 2015	172289	18 Courtenay Drive, Emmer Green, Reading, RG4 8XH	Peppard	Flat roof rear extension measuring 5.05m in depth, with a maximum height of 3.35m.	19/12/2017	20/02/2018		£172
Householder Prior Approval - Class A, Part 1 GPDO 2015	180019	78 Carnarvon Road, Reading, RG1 5SD	Redlands	Rear extension measuring 3.9m in depth, with a maximum height of 3.5m, and 2.3m in height to eaves level.	03/01/2018	13/02/2018		£172

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Householder Prior Approval - Class A, Part 1 GPDO 2015	180099	14 Donnington Road, Reading, RG1 5ND	Redlands	Rear extension measuring 4.95m in depth, with a maximum height of 3.15m, and 3.0m in height to eaves level.	17/01/2018	27/02/2018		£172
Householder Prior Approval - Class A, Part 1 GPDO 2015	180065	33 Blandford Road, Reading, RG2 8RG	Whitley	Rear extension measuring 4m in depth, with a maximum height of 3.5m, and 3m in height to eaves level.	11/01/2018	28/02/2018		£172

Office to Residential Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Office use to dwelling house - Class O, Part 1 GPDO 2015	180066	13 Bridge Street, Caversham, Reading, RG4 8AA	Caversham	Change of use of first and second floors from Class B1(a) (offices) to C3 (dwelling houses) to comprise of 2 x 2bed apartments.	03/01/2018	28/02/2018		£305
Office use to dwelling house - Class O, Part 1 GPDO 2015	172271	New Century Place Block 2, East Street, Reading	Katesgrove	Change of use of building from Class B1(a) (offices) to C3 (dwelling houses) to comprise 63 self-Contained studio apartments.	18/12/2017	12/02/2018		£23790

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Office use to dwelling house - Class O, Part 1 GPDO 2015	172272	New Century Place Block 1, East Street, Reading	Katesgrove	Change of use of building from Class B1(a) (offices) to C3 (dwelling houses) to comprise 72 self-Contained studio apartments.	18/12/2017	12/02/2018		£27255
Office use to dwelling house - Class O, Part 1 GPDO 2015	172277	Ground & First Floor Cadogan House, Rose Kiln Lane, Reading, RG2 0HP	Minster	Change of use of ground & first floors from Class B1(a) (offices) to C3 (dwelling houses) to comprise of 19 one bed apartments.	15/12/2017	09/02/2018		£6850

Storage to Residential Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments	Equivalent planning application fee
Storage or distribution centre to dwelling house - Class P	172198	Rear of, 133 Caversham Road, Reading, RG1 8AS	Abbey	Notification for Prior Approval for a Change Of Use from Storage or Distribution Buildings(Class B8) and any land within its curtilage to 1 bed residential dwellinghouse (C3)	07/12/2017	01/02/2018		£305

Prior Notification applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments
Prior Notification	172192	Reading West Footbridge, Reading West Station, Reading	Battle	Prior Approval under Part 18 Class A to Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (the GPDO) for reconstruction of the footbridge to provide the necessary clearance for the OLE which is to run underneath the structure.	07/12/2017	01/02/2018	

Demolition Prior Approval applications pending

Application type	Application reference number	Address	Ward	Proposal	Date Received	Target Determination Date	Comments
Demolition Prior Approval	172095	Mercedes Centre, Richfield Avenue, Reading, RG1 8EQ	Abbey	Application for prior notification of proposed demolition.	23/11/2017	25/12/2017	

Telecommunications Prior Approval applications pending - None

Retail Prior Approvals applications pending - None

Shop to Assembly & Leisure Prior Approval applications pending - None

Shop to Restaurant Prior Approval applications pending - None

Table 2 - Prior-approval applications decided 21 December 2017 to 24 January 2018

Application type CLASS A - Householder

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Householder Prior Approval - Class A, Part 1 GPDO 2015	172221	86 Elm Park, Reading, RG30 2HX	Battle	Rear extension measuring 6m in depth, with a maximum height of 3.77m, and 2.63m in height to eaves level.	11/12/2017	10/01/2018	Prior Approval NOT REQUIRED
Householder Prior Approval - Class A, Part 1 GPDO 2015	172081	1 Anglefield Road, Caversham, Reading, RG4 5HP	Caversham	Rear extension measuring 6 metres in depth, with a maximum height of 3 metres, and 3 metres in height to eaves level.	21/11/2017	22/12/2017	Prior Approval NOT REQUIRED
Householder Prior Approval - Class A, Part 1 GPDO 2015	172220	6 Rowley Road, Reading, RG2 0DR	Katesgrove	Rear extension measuring 6m in depth, with a maximum height of 3.8m, and 2.5m in height to eaves level.	11/12/2017	17/01/2018	Application Withdrawn
Householder Prior Approval - Class A, Part 1 GPDO 2015	172046	32 Ripley Road, Tilehurst, Reading, RG30 6UD	Kentwood	Rear extension measuring 6m in depth, with a maximum height of 3.65m, and 2.98m in height to eaves level.	15/11/2017	21/12/2017	Prior Approval NOT REQUIRED

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Householder Prior Approval - Class A, Part 1 GPDO 2015	172072	42 Waverley Road, Reading, RG30 2PX	Norcot	Rear extension measuring 5.5m in depth, with a maximum height of 2.8m, and 1.8m in height to eaves level.	20/11/2017	05/01/2018	Prior Approval NOT REQUIRED
Householder Prior Approval - Class A, Part 1 GPDO 2015	172223	3 Park Crescent, Reading, RG30 2NL	Norcot	Rear extension measuring 6m in depth, with a maximum height of 3.95m and 2.2m in height to eaves level.	11/12/2017	19/01/2018	Prior Approval Notification - Approval
Householder Prior Approval - Class A, Part 1 GPDO 2015	172152	9 Norris Road, Reading, RG6 1NJ	Park	Rear extensions measuring 5.34m and 4.4m in depth, with maximum heights of 3.1m, and 2.9m in height to eaves level.	02/12/2017	05/01/2018	Prior Approval NOT REQUIRED

Office to Residential Prior Approval applications decided

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Office use to dwelling house - Class O, Part 1 GPDO 2015	171894	land to the rear of, 8 Prospect Street, Reading, RG1 7YG	Battle	Change of use of building from Class B1(c)(light industrial) to C3 (dwellinghouses) to comprise of 3 x 1 bed flats & 1 x 2 bed flats.	26/10/2017	22/12/2017	Prior Approval Notification - Approval

Shop to Assembly & Leisure Prior Approval applications decided

Application type	Application reference number	Address	Ward	Proposal	Date Received	Decision Date	Decision
Shop, Finance, Betting, Payday, Casino to Assembly & Leisure Class J	171901	87 Caversham Road, Reading, RG1 8AN	Abbey	Change of use from retail (A1) to assembly and leisure (D2) comprising Pilates studios.	26/10/2017	21/12/2017	Prior Approval Notification - Approval

Prior Notification applications decided - None

Shop to Restaurant Prior Approval applications decided - None

Telecommunications Prior Approval applications decided - None

Retail to Residential applications decided - None

Demolition Prior Approval applications decided - None

Storage to Residential Prior Approval applications decided - None

READING BOROUGH COUNCIL

REPORT BY DIRECTOR OF ENVIRONMENT, CULTURE & SPORT

TO:	PLANNING APPLICATIONS COMMITTEE		
DATE:	7 th February 2018	AGENDA ITEM:	7
TITLE:	QUARTERLY PERFORMANCE MONITORING REPORT - DEVELOPMENT MANAGEMENT SERVICE - Quarter 3, 2017/18		
SERVICE:	PLANNING	WARDS:	BOROUGHWIDE
LEAD OFFICER:	KIARAN ROUGHAN	TEL:	0118 937 4530 (74530)
JOB TITLE:	PLANNING MANAGER	E-MAIL:	kiaran.roughan@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 This report provides the quarterly report for Q3 (October - December) of 2017/18. The report sets out the Council's current performance against government criteria for designation and corporate indicators where they vary from the government criteria.

2. RECOMMENDED ACTION

- 2.1 That the contents of the report be noted.

3. BACKGROUND

- 3.1 The main measure used by the Secretary of State in assessing a local planning authority's performance in determining planning applications is the percentage of decisions on applications made:

- (a) within the statutory determination period; or
- (b) within such extended period as has been agreed in writing between the applicant and the local planning authority;

These measures are applied separately to major applications and to non-major applications. There are also quality measures that relate to appeal decisions which are reported in the Annual Monitoring Report.

Performance indicators and targets

- 4.1 The following table provides monitoring information against the relevant quarterly corporate indicators:

Table 1 RBC Planning Service Quarterly Performance Indicators for Q1 and Q2 2017/18

Description	Target	15-16	16-17	Q1 17-18	Q2 17-18	Q3 17-18	Q4 17-18
Percentage of major applications decided within: (i) statutory 13/16 weeks, or (ii) the extended period agreed with the applicant. (NB note that a risk of designation occurs where 40% or fewer of their decisions on major applications are made within the statutory determination period or such extended period as has been agreed in writing with the applicant).	60%	85% (17/20)	89% (42/47)	83% (5/6)	100% (5/5)	88% (7/8)	
Percentage of minor applications decided within (i) statutory 8 weeks or (ii) the extended period agreed by the applicant.	65%	71% (143/201)	74% (166/223)	83% (45/54)	94% (61/65)	85% (57/67)	
Percentage of other applications decided within statutory 8 weeks	80%	54% (366/676)	59% (457/769)	64% (94/147)	66% (129/196)	76% (147/194)	
Percentage of other applications decided within (i) statutory 8 weeks or (ii) the extended period as agreed by applicant.	80%	73% (493/676)	85% (657/769)	97% (142/147)	95% (187/196)	957% (185/194)	
Percentage of householder applications (not for prior approval) decided within (i) statutory 8 weeks or (ii) the extended period agreed by the applicant.	80%	75% (342/457)	62% (308/499)	98% (104/106)	96% (129/135)	80% (94/117)	
Percentage of householder applications (not for prior approval) decided within statutory 8 weeks.	80%	55% (249/456)	86% (430/499)	66% (70/106)	69% (93/135)	72% (84/117)	
Planning Enforcement: % of enforcement complaints resolved within appropriate deadline according to priority	60%	66% (178/269)	82% (244/299)	66% (35/53)	83% (70/84)	77% (40/52)	
Appeal performance - % allowed as a total of all appeals (a lower % figure is better)	30%	27% (9/33)	20% (8/41)	33% (2/6)	13% (1/8)	10% (9/10)	
Major application appeal performance - % allowed as a total of all appeals (NB note that a risk of designation occurs where more than 20% of major applications decisions are overturned on appeal. (a lower % figure is better)	20%	0% (0/0)	0% (0/0)	0% (0/1)	0% (0/0)	0% (0/0)	

Comments on planning application performance and workload

4.4 The key results for Quarter 3 of 2017/18 are as follows:

- A total of 311 planning applications were validated during Quarter 3 compared to a total of 281 in the same period during 2016/17, a rise of 10.7%. The total number of applications validated during Quarters 1-3 was 945 compared to a total of 964 in the same period during 2016/17, a fall of almost 2%.
- The Council's performance overall remains steady and generally well above the target levels.
- Enforcement performance remains above target;
- Performance on appeals was good.

5. CONTRIBUTION TO STRATEGIC AIMS

- 5.1 Planning services contribute to producing a sustainable environment and economy within the Borough and to meeting the 2016 - 19 Corporate Plan objective for "Keeping the town clean, safe, green and active." Under the heading, Neighbourhoods, the Corporate Plan aims to improve the physical environment - the cleanliness of our streets, places for children to play, green spaces, how we feel about our neighbourhood and whether we feel safe, have a sense of community and get on with our neighbours.

6. COMMUNITY ENGAGEMENT AND INFORMATION

- 6.1 Statutory consultation takes place on planning applications and appeals and this can influence the speed with which applications and appeals are decided. Information on development management performance is publicly available.

7. EQUALITY IMPACT ASSESSMENT

- 7.1 Under the Equality Act 2010, Section 149, a public authority must, in the exercise of its functions, have due regard to the need to:
- eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
- 7.2 In terms of the key equalities protected characteristics, it is considered that the development management performance set out in this report has no adverse impacts.

8. LEGAL IMPLICATIONS

8.1 The collection and monitoring of performance indicators is a statutory requirement and a requirement of DCLG. In addition a number of the work related programmes referred to in this report are mandatory requirements including the determination of planning applications and the preparation of the development plan.

9. FINANCIAL IMPLICATIONS

9.1 There are no direct financial implications arising from this report.

READING BOROUGH COUNCIL

TO:	Planning Application Committee		
DATE:	7 th Feb 2018	AGENDA ITEM:	8
TITLE:	Street Name assignment Off Conwy Close		
SERVICE:	GI & Business Systems	WARDS:	Tilehurst
LEAD OFFICER:	Andy Fisher	TEL:	Ext 72606 (0118 937 2606)
JOB TITLE:	GI & Business Systems team leader	E-MAIL:	andy.fisher@reading.gov.uk

1. PURPOSE AND SUMMARY OF REPORT

- 1.1 To identify proposed names for the development site detailed below and for Committee to select the name to be assigned.

2. RECOMMENDED ACTION

- 2.1 The Committee approve the street names from the table set out at 4.2 of this report.
- 2.2 In the event that none of the proposed names are considered suitable Committee to select names from the Street Names Proposals list at Appendix 2, as previously approved by Committee.

3. BACKGROUND

- 3.1 The development is located in Tilehurst, off Conwy Close. We received the plans from the developers based on these plans we would like committee to approve one name to be reserved for the development.
- 3.2 Due to the construction of a new road it is felt appropriate to group the name by a theme whilst still ensuring the name is unique and clearly identifiable.
- 3.3 The theme for this area is Welsh Rivers and the names listed below are tributaries to the Conwy.

3.4 During the consultation with Councillors two additional names were suggested and have been included in the list at 4.2 of this report.

3.5 A plan of the site detailing the street layout is attached at Appendix 1.

4. THE PROPOSAL

4.1 That Committee approve one name for the development.

4.2 In the event that Committee consider none of the names offered to be acceptable, alternative names will need to be selected from the Approved Street Names list in Appendix 2.

Conwy River tributaries theme:

Name	Reason for action	Ward	Site	Source
Goron	Welsh Rivers - Conwy River tributaries	Tilehurst	Off Conwy Close	Officer Research
Fairy Falls	Welsh Rivers - Conwy River tributaries	Tilehurst	Off Conwy Close	Officer Research
Roe	Welsh Rivers - Conwy River tributaries	Tilehurst	Off Conwy Close	Officer Research
Machno	Welsh Rivers - Conwy River tributaries	Tilehurst	Off Conwy Close	Officer Research
Tafolog	Welsh Rivers - Conwy River tributaries	Tilehurst	Off Conwy Close	Officer Research
Additional names suggested				
Bevan	No reason given	Tilehurst	Off Conwy Close	Councillors Absolom, Hoskin, and Lovelock
Menai	No reason given	Tilehurst	Off Conwy Close	Councillors Absolom, Hoskin, and Lovelock

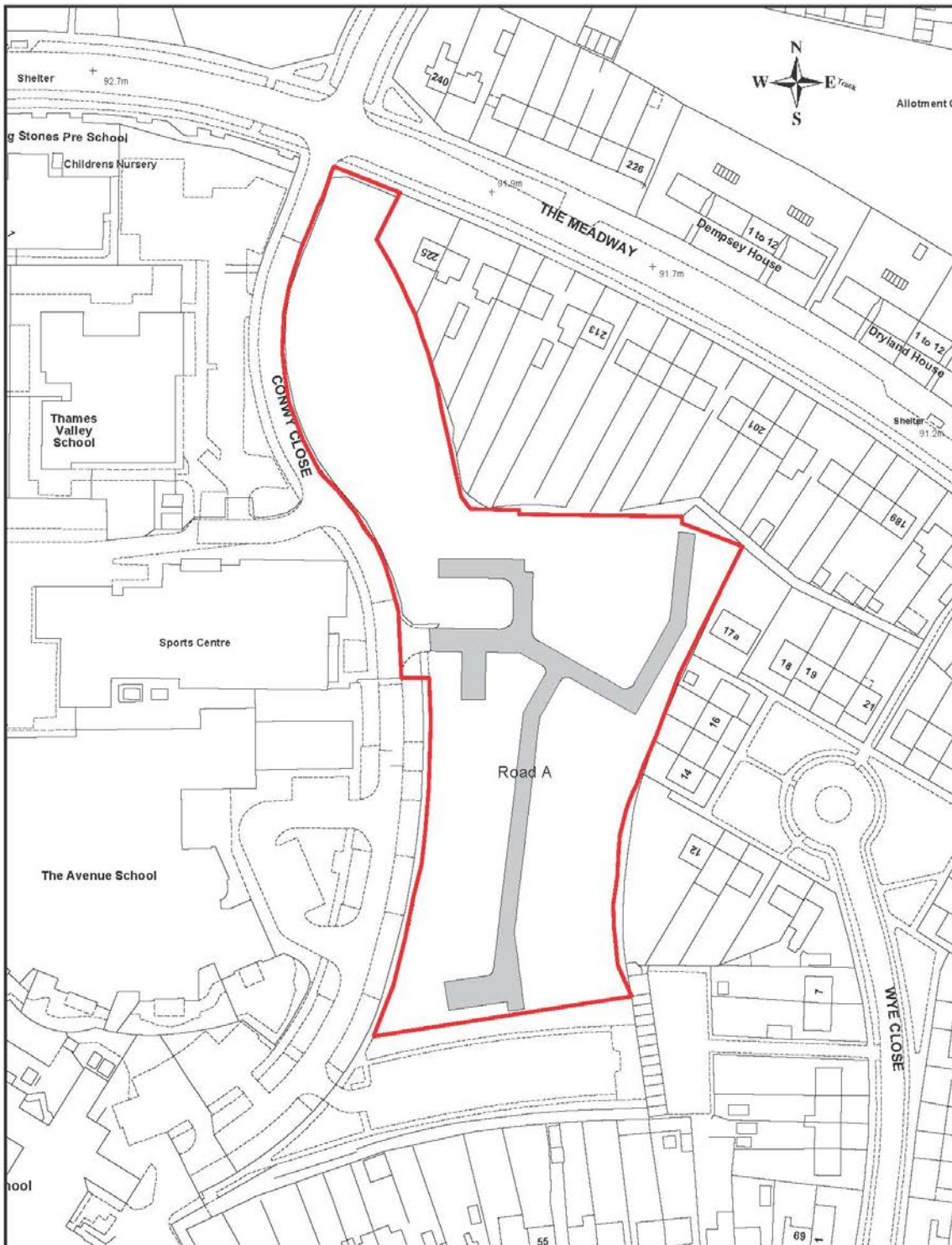
5 FINANCIAL IMPLICATIONS

- None directly from this report.

6 LEGAL IMPLICATIONS


- The creation of street names should follow the guidelines detailed in the “Data Entry Conventions and Best Practice for the National Land and Property Gazetteer”, a reference manual based on Property Addressing Standard BS7666:2006 Parts 1 & 2.

Appendix 1 - Off Conwy Close Street plan



Title: Street Naming and Numbering.
 New Road Name Required for Road A, Reading.

SN&N Ref.: 34520170902 Date: 20/10/2017 Scale at A4: 1:1250
 Produced by GI & Business Systems Ref:



Reading
 Borough Council
 Working better with you

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Appendix 2 - Approved Street List

Street Name	Reason for suggestion	Preferred area / site
Alderney	Channel Island	None specified
Ambleside	A place in the lake district	Kentwood
Arlington	Random selection	West Reading
Belvedere	Victorian name for a viewing point on a tall building	None specified
Braunston	UK place name and canal junction	None specified
Brecon	A Welsh town	Bugs Bottom / Caversham
Buckler	Derek Buckler, and Bucklers Of Reading Car company. 1947 - 1964 at 67 Caversham Road	Caversham Road / Caversham Heights
Burns	2001 World Rally Champion who died in 2005, aged 34.	None specified
Byron	Poet	None specified
Coppell	Former Reading Football Manager	None specified
Curtis	Geoff Curtis, Reading Racers Speedway in 1973, part of the British League Division One Championship team. Killed in Sydney on 5th Dec 1973, 40 years anniversary in 2013.	None specified
Depass	Harvey DePass, Reading's first Community Relations Officer	Caversham
Dundas	Canadian town name	None specified
Dunelm	Abbreviation of a latin word	None specified
Eastwood	Random selection	None specified
Elgin	Scottish town name	None specified
Erith	Riverside town name in Bexley Borough London	None specified
Falcon	Name of a bird	None specified
Festival	40+ years of Reading Festival	None specified
Flint	Old Reading street name - lost during building of civic centre & IDR	Katesgrove
Flower	Random selection	None specified
Gardener	Random selection	None specified
Garland	Named after British naval vessel	None specified
Gold	Mineral theme	None specified
Guernsey	Channel Island	None specified

Street Name	Reason for suggestion	Preferred area / site
Hampton	Named after British naval vessel	None specified
Hampshire	Named after British naval vessel	None specified
Harwich	Named after British naval vessel	None specified
Hope	Named after British naval vessel	None specified
Humber	Named after British naval vessel	None specified
Iron	Mineral theme	Katesgrove
Ivory	Random selection	None specified
Jersey	Channel Island	None specified
Jonsson	Per Jonsson. Reading speedway team and World Champion.	Whitley
Kennedy	Phil Kennedy, BBC Radio Berkshire presenter	None specified
Knox	Random selection	None specified
Larose	Random selection	None specified
Ledger	Random selection	None specified
Leicester	Random selection	None specified
Limerick	Celebrating Reading's Irish community.	None specified
Madejski	John Madejski - Reading Football Club owner	None specified
Margate	Random selection	None specified
Matrix	Former Reading nightclub	None specified
Michanek	Anders Michanek. Reading speedway team and World Champion.	Whitley
Monarch	Random selection	None specified
Norwich	Random selection	None specified
Nottingham	Random selection	None specified
Nuneaton	Random selection	None specified
Oban	Random selection	None specified
Pantry	Peoples Pantry restaurant, badly damaged by a bomber on 10th February 1943. 41 people killed and 49 injured.	None specified
Peach	Andrew Peach, BBC Radio Berkshire presenter	None specified

Street Name	Reason for suggestion	Preferred area / site
Perkins	Make of engine used locally	Worton Grange
Presentation	Former school, Presentation College	Southcote
Price	Candle-maker	None specified
Proctor	Make of steam engine used locally	Worton Grange
Pyeatt	Reading Speedway rider from 1981/82 who was killed in July 1982.	None specified
Ransome	Make of steam engine used locally	None specified
Redway	Bernard Redway, Poet, Athlete, expeditioner and mountaineer.	None specified
Rowland	Unknown reason	None specified
Ruston	Make of steam engine used locally	Worton Grange
Sangar	Sangar is a type of look out tower.	Brock Barracks
Sark	Channel Island	None specified
Saunderson	Make of tractor once used locally	None specified
Saxon	Anglo-Saxon tribe, Readingas, who settled the area.	None specified
Sentinel	Make of steam engine used locally	Worton Grange
Signal	Former GWR signal works was located in Reading	None specified
Sprott	Michael Sprott is the former British and Commonwealth Heavyweight champion from Reading.	None specified
Stephenson	Steam engine designer	None specified
Steve Death	Steven Victor Death, former Reading Football Goalkeeper	None specified
Tallow	A form of lubricant once made locally	None specified
Thompson	Make of steam engine used locally	Worton Grange
Thornycroft	Historic firm formerly based on the bank of the Thames	None specified
Tidman	Make of steam engine used locally	Worton Grange
Tilley	Historic type of oil lamp	None specified
Ufton	Local village	None specified
Ullapool	Scottish town	None specified
Vickers	Aircraft manufacturer	None specified

Street Name	Reason for suggestion	Preferred area / site
Vickers	Aircraft manufacturer	None specified
Viking	Norse warriors	None specified
Vulcan	Royal Airforce Bomber	None specified
Watkins	Professor Derek Watkins, Reading pupil, cancer survivor, trumpet player and trumpet designer. Went to school in Whitley.	Whitley
Westray	Scottish island	None specified
Whitchuch	Local village	None specified
Yateley	Local village	None specified
Yattendon	Local village	None specified
Zenith	Random selection	None specified

ABBEY

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES

READING BOROUGH COUNCIL

ITEM NO. 9

PLANNING APPLICATIONS COMMITTEE: 7 February 2018

Ward: Abbey

App No.s: 172119/FUL & 172120/LBC

Address: 35B Castle Street

Proposal: Installation of 2 no. Small Cabinets (1 Cabinet to be removed)

Applicant: MBNL & EE Ltd

8 week target decision date: 23 January 2018

Extension of time date: 9 February 2018

RECOMMENDATION

172119/FUL

Grant Full Planning Permission

CONDITIONS TO INCLUDE

1. Full - time limit - three years
2. Standard approved plans condition

INFORMATIVES TO INCLUDE

1. Standard positive and proactive informative
2. Listed Building Consent ref. 172120 relates to this permission

172120/LBC

Grant Listed Building Consent

CONDITIONS TO INCLUDE

1. Full - time limit - three years
2. Standard approved plans condition
3. Fixings to be attached into mortar only and not into the brick faces

INFORMATIVES TO INCLUDE

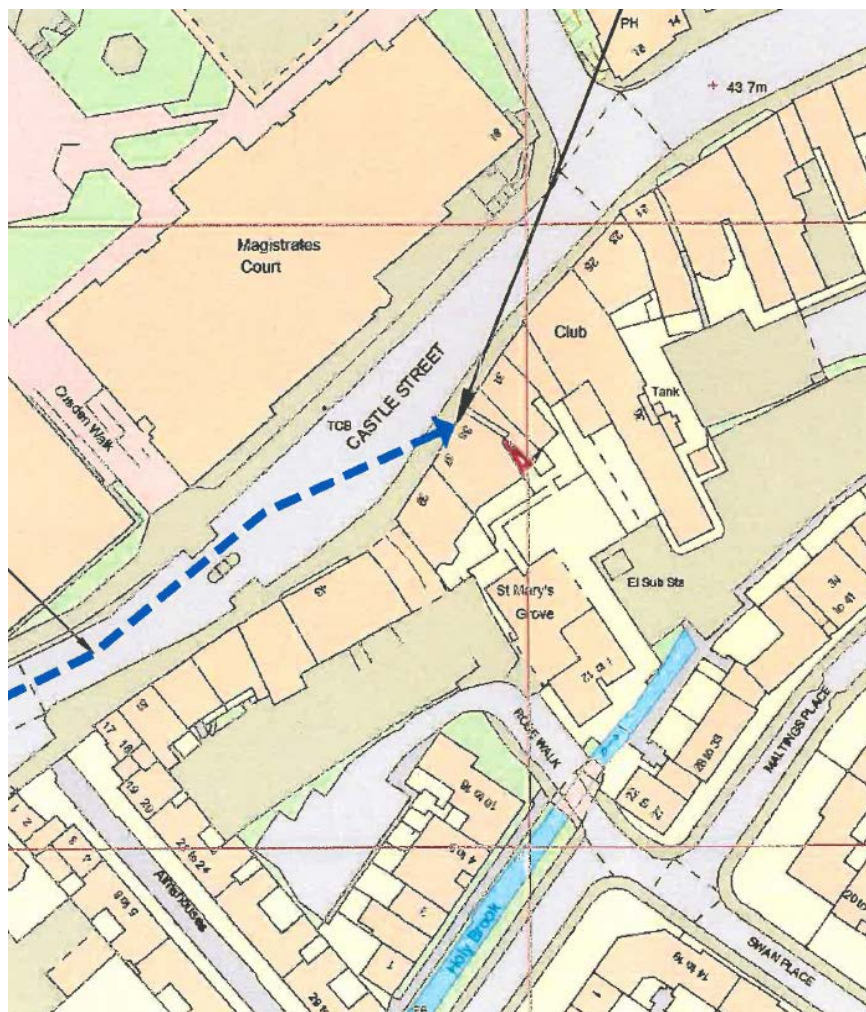
1. Standard positive and proactive informative

1. INTRODUCTION

- 1.1 The application relates to 35B Castle Street. A three storey grade II listed property located on the south side of Castle Street and located within the St Marys Butts Conservation Area. The building is in retail use with a residential flat above. The surrounding area predominantly consists of commercial properties but there are residential properties to the rear of the site at St Marys Grove.

- 1.2 The site is in an air quality management area and within the Reading Central Area and Central Core as defined by the Reading Central Area Action Plan (2009).
- 1.3 The site hosts an existing telecommunications base station with an antenna sited on the roof of the building and ancillary equipment cabinets mounted to the rear of the building within the small rear yard area. The base station was given planning permission and listed building consent at Planning Applications Committee in 2010 under applications ref. 10/01335/FUL and 10/01336/LBC.
- 1.4 Full planning permission is required for the development because 'Permitted Development Rights' do not apply to telecommunications development within the curtilage of listed buildings.
- 1.5 The applications are required to be determined by Planning Applications Committee because they relate to telecommunications development to a listed building and which is located within a conservation area.

Site Location Plan



2. PROPOSAL

- 2.1 The applications seek full planning permission and listed building consent for the installation of 2 no. small cabinets (1 existing cabinet to be removed). The cabinets would be sited in the same position as the existing ancillary base station equipment to the rear (north east elevation) wall of the building within the rear yard area.
- 2.2 The proposal seeks to retain and re-use the existing small antenna located to the main roof to the building fronting Castle Street (no physical change proposed, as previously approved in 2010) and seeks to utilise existing cabling to connect the antenna with the ancillary base station equipment to rear.
- 2.3 The two cabinets would measure 0.4m x 0.2m x 0.6m and 0.25m x 0.1m x 0.48m and would be fixed to the wall by cantilever arms as per the existing cabinet to be removed. The proposed cabinets would be finished in plain grey steel.
- 2.4 The works are proposed as part of an upgrade to the existing base station to update the site's capacity and extend coverage.
- 2.5 A declaration has been submitted by the applicant confirming compliance with the International Commission on Non-ionizing Radiation (ICNIRP) guidelines.

3. PLANNING HISTORY

- 3.1 10/01335/FUL & 10/01336/LBC - Installation of antenna to chimney with associated equipment cabinets to rear of property - Granted
- 3.2 10/01081/LBC - Removal of timber 'beams' and application of white masonry paint over existing painted brickwork on front facade, (amended description) - Granted

4. CONSULTATIONS

4.1 Public consultation:

- Two site notices were displayed, one to the rear of the building and one to the front on Castle Street. No.s 1-12 St Marys Grove and no.s 31, 33, 33A, 35, 35A and 37 Castle Street were also notified by letter.
- Six letters of objection have been received raising the following issues:
 - Land ownership being contested
 - Proposals are unclear

5. RELEVANT PLANNING POLICY AND GUIDANCE

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.

5.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving the listed building or its setting or any features of special interest which it possesses.

5.3 The following local and national planning policy and guidance is relevant to this application:

5.4 National Planning Policy Framework

Part 5 - Supporting high quality communications infrastructure

Part 7 - Requiring good design

5.5 Reading Borough Local Development Framework Core Strategy (2008, 2015)

CS7 (Design and the Public Realm)

CS33 (Protection and Enhancement of the Historic Environment)

5.6 Sites and Detailed Policies Document (2012, 2015)

SD1 (Presumption in Favour of Sustainable Development)

DM21 (Telecommunications Development)

5.7 Reading Central Area Action Plan (2009)

RC5 (Design in the Centre)

6. APPRAISAL

6.1 Policy DM21 states that proposals for telecommunications development will be permitted provided that:

- They do not have an adverse impact on the visual amenity of the surrounding area;
- The apparatus will be sited and designed so as to minimise its visual impact by the use of innovative design solutions such as lamp column 'swap-outs' or concealment/camouflage options; and

- Alternative sites and site-sharing options have been fully investigated and it has been demonstrated that no preferable alternative sites are potentially available which would result in a development that would be less visually intrusive.



View of rear of building

Impact on Visual Amenity, Historic Character of the Listed Building and setting of the Conservation Area

- 6.2 The two proposed equipment cabinets combined would be smaller in size than the single cabinet to be replaced. The units would be sited in the same location as the existing cabinet, positioned between two other cabinets which are to be retained. The small scale of the units is such that they would be visually discreet and would be finished in the same steel grey as the existing cabinets. Located to the rear of the building to an existing base station location it is not considered that the replacement cabinets would result in any material change in terms of visual impact above the existing situation. The units would not be readily visible to the surrounding area set behind an existing fence to the rear of the yard area and are considered to preserve the setting of the St Marys Butts/Castle Street Conservation Area.
- 6.3 The proposals are considered minor and less visually intrusive than the existing cabinet to be replaced and in this respect are considered to assist in preserving the historic character and setting of the listed building. A condition is recommended to ensure brackets where the units are attached to the building are inserted into the mortar rather than the brickwork itself to ensure any additional impact on the fabric of the building would be minimal and reversible.

- 6.4 The proposal is considered to accord with Policies DM21, CS7, CS33 and RC5.

Alternative Sites

- 6.5 The re-use of existing sites, such as that currently proposed, is in accordance with paragraph 43 of the NPPF and is within the spirit of Sites and Detailed Policies Document Policy DM21 which encourages the replacement of one structure with another to minimise the visual impact. On this basis, and taking into account the lack of visual harm identified above, it is considered that an alternative site is not required for the proposed development.

- 6.6 The proposal is considered to accord with Policy DM21.

Issues Raised in Representations

- 6.7 A number of residents of St Marys Grove, which is adjacent to the rear of the site, have raised objection based on land ownership concerns. A number of the objections state that the residents of St Marys Grove are currently disputing ownership of land to the rear of no. 35 Castle Street. Land ownership is not a material planning consideration and whilst planning permission and listed building consent for the proposed works could be granted this would not imply ownership of the land and whether or not any permission/consent could be lawfully implemented would be a legal matter to be resolved between neighbouring occupiers.
- 6.8 Officers are satisfied that the proposed plans satisfactorily detail the proposed works.

Equalities impact assessment

7. In determining this application the Committee is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, gender, sexual orientation. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application. In terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

8. CONCLUSION

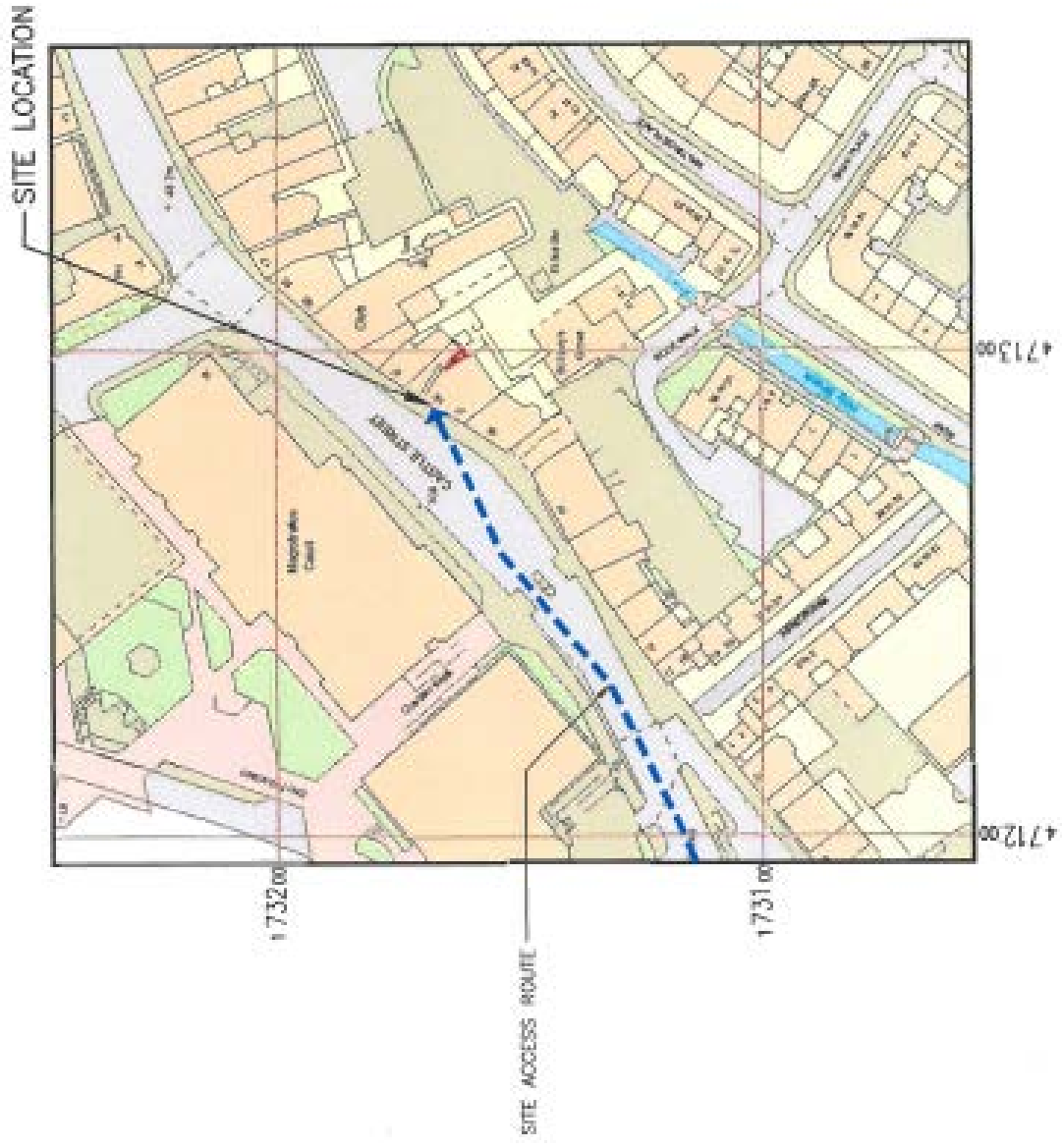
- 8.1 The proposal is considered to comply with Policies CS7 and CS33 of the Core Strategy (2008, 2015), Policy DM21 of the Sites and Detailed Policies Document (2012, 2015), Policy RC5 of the Reading Central Area Action Plan

(2009) and the National Planning Policy Framework as assessed above. It is therefore recommended that planning permission and listed building consent be granted, subject to conditions.

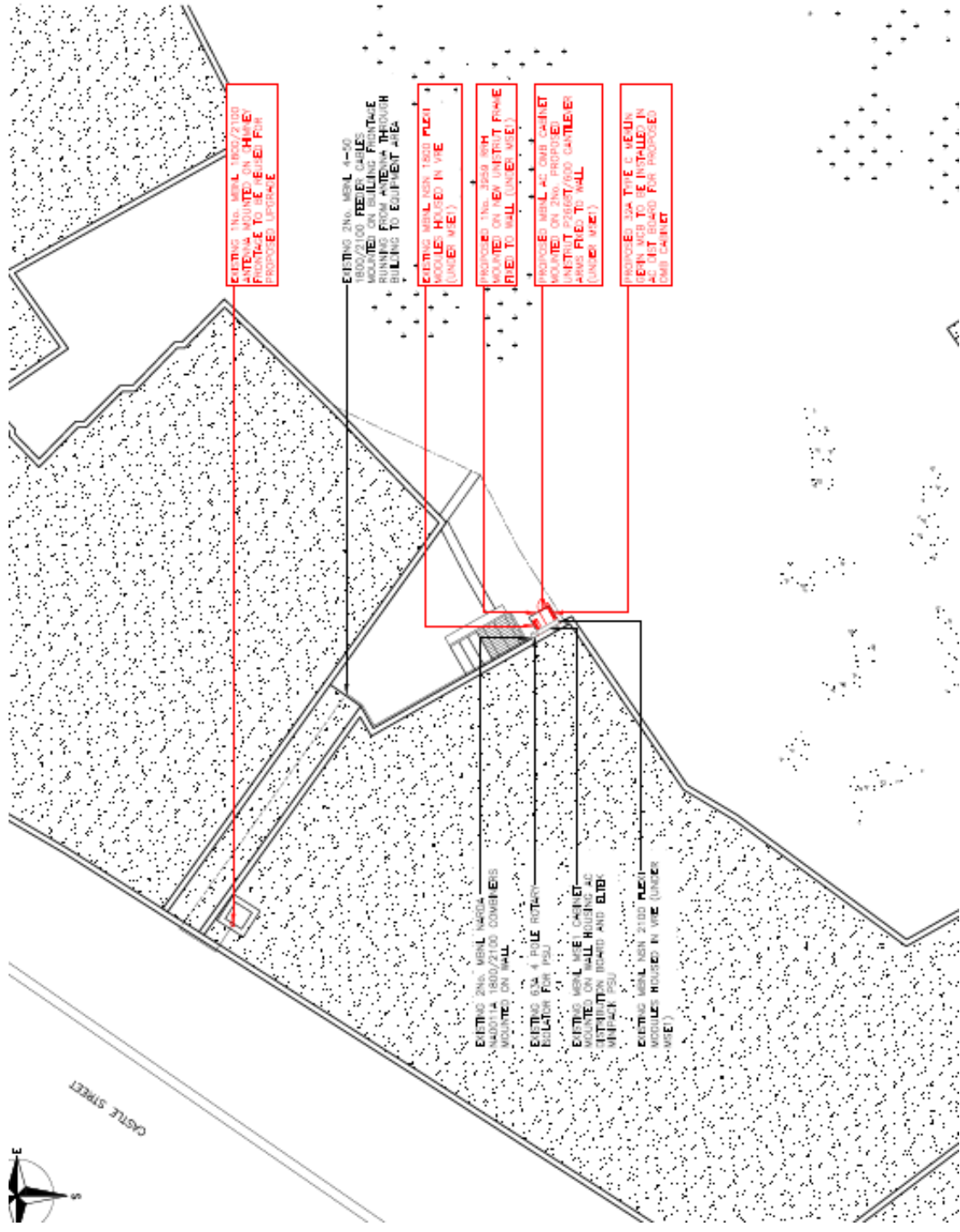
Drawing no.s:

RDG087 01 Rev A1 - Location Plan
RDG087 02 Rev A1 - Site Plan
RDG087 03 Rev A1 - North West Elevation
RDG087 04 Rev A1 - Equipment Layout and Elevation
RDG087 05 Rev A1 - Antenna Layout and Elevation
RDG087 06 Rev A1 - ICNIRP Exclusion Zones
RDG087 07 Rev A1 - Construction Notes

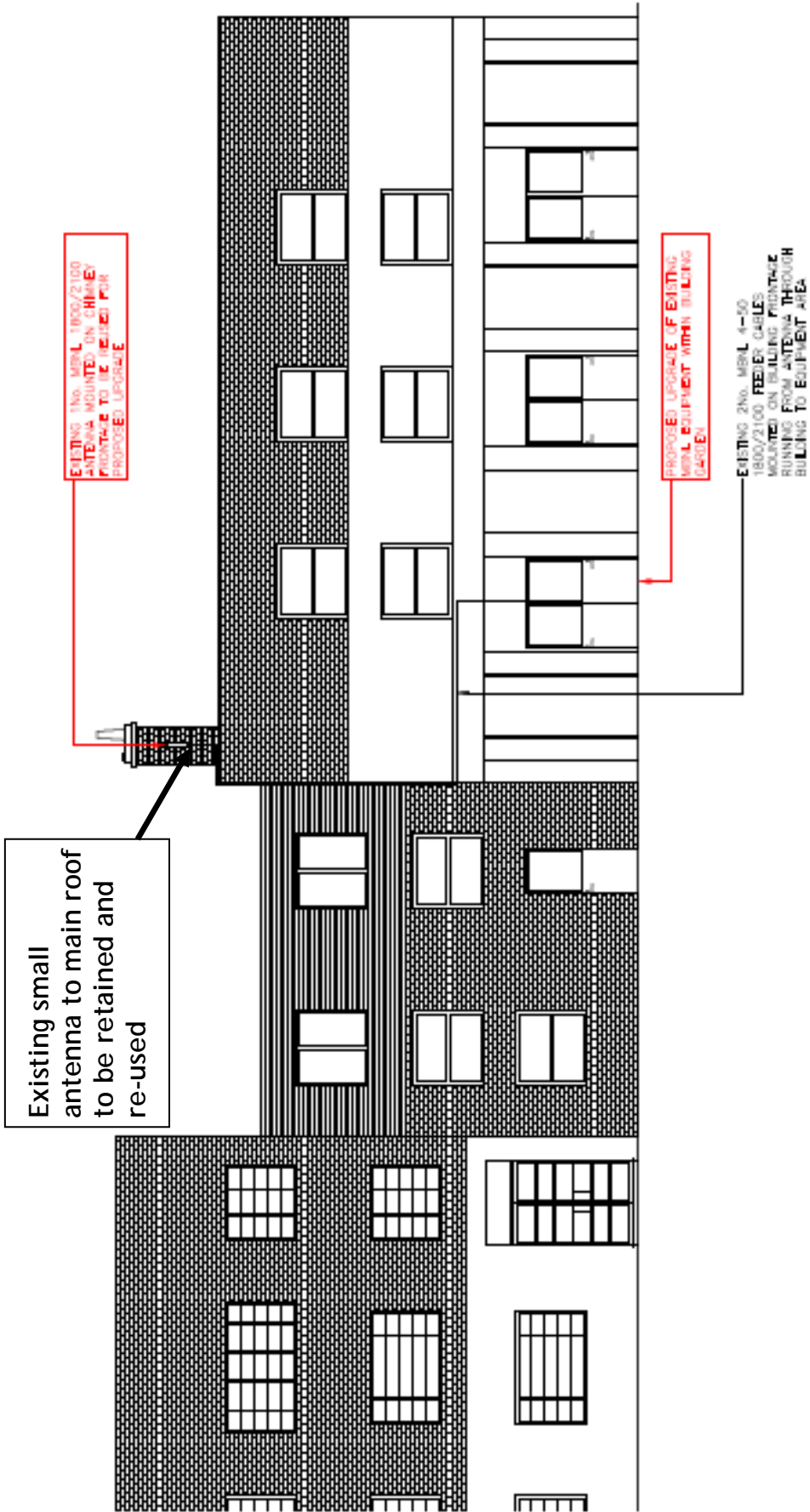
Case Officer: Matt Burns



Site Location



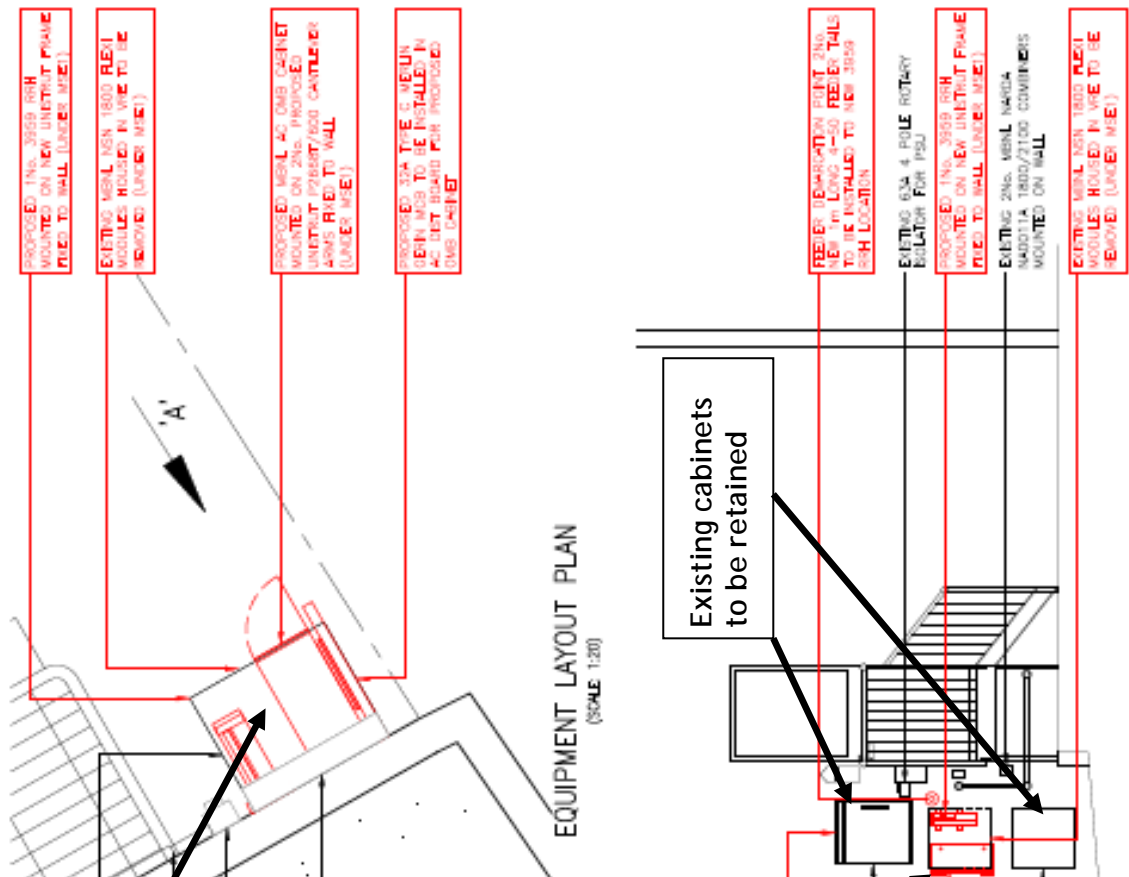
Proposed Site Plan



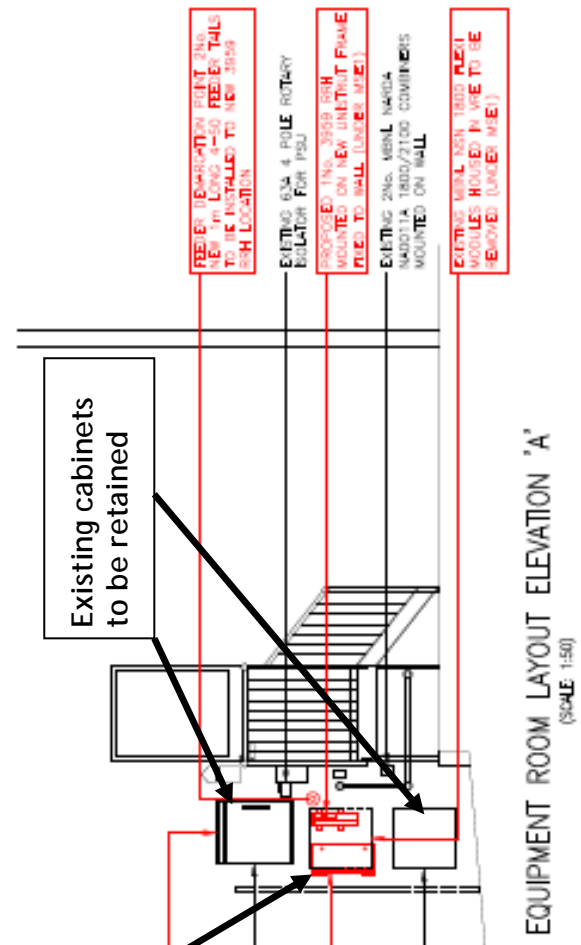
Front Elevation (retained as existing - no alterations proposed)

Profile view of the two proposed replacement cabinets shown in red. Two larger existing cabinets to be retained above and below outlined in black

Two proposed smaller and narrower replacement cabinets shown in red. Existing larger cabinet to be removed outlined behind in black



EQUIPMENT LAYOUT PLAN (SCALE 1:200)



EQUIPMENT ROOM LAYOUT ELEVATION 'A' (SCALE 1:500)

Equipment Layout and Elevation

CHURCH

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 7 February 2018

ITEM NO. 10

Ward: Church

App No.: 172045/FUL

Site Address: St Patrick's Hall, 20 Northcourt Avenue, Reading, RG2 7HB

Proposal: Construction of 836 new student bedrooms, a cafeteria/bar, bin and bike stores, sub-station and energy centre, together with a new access link and landscaping. Demolition of the existing student accommodation block at New Court, the SETS building, the warden's house, no. 4 Sherfield Drive, the reception and common room, (resubmission of application ref. 161182) (amended description).

Applicant: University of Reading

Date valid: 15 November 2017

Target Decision Date: 14 March 2018 (agreed extension)

26 Week Date: 16 May 2018

RECOMMENDATION

Delegate to Head of Planning, Development and Regulatory Services to:

i) GRANT Full Planning Permission, subject to the satisfactory completion of a S.106 legal agreement to secure:

a) An employment skills and training plan for both construction and end user phases or payment in lieu of a plan (construction £38,795 and end user £4724.70) to be provided at least one month prior to commencement. Any payments to be index-linked from the date of permission.

b) The sum of £30,000 towards the upgrade of the pedestrian crossing immediately to the south east of the Shinfield Road/Northcourt Avenue junction. Payable prior to first occupation and index-linked from the date of permission.

c) The sum of £6,324 for the provision and ongoing maintenance of 4 street trees on the eastern side of Northcourt Avenue opposite the application site. Payable prior to commencement and index-linked from the date of permission. Any surplus monies to be retained for ongoing maintenance of these trees, or additional tree planting elsewhere within Northcourt Avenue.

d) The submitted student management plan and a mechanism for annual review by the Council. To include requirement for compliance with parking management policy as set out in UoR Student Residence Agreement.

e) The use of the site to be *sui generis* university halls of residence and not to be used for other uses, including non-student residential use (with the exception of short term summer school and conference accommodation during university holidays).

f) The development not to be occupied until a 10 year Local Wildlife Site Management Plan for the Whitley Park Farm/St Patricks Hall Pond LWS has been submitted to and approved in writing by the Council. To include but not limited to:

1. Management of the woodland to ensure that it is botanically and structurally diverse
2. Management of the ponds to ensure that they do not become silted up, colonised with invasive species etc.
3. Provision of bird and bat boxes

4. Measures to manage public and student access.

Thereafter implemented in accordance with the terms of the approved 10 year LWS Management Plan.

Or

ii) to REFUSE permission should the S106 legal agreement not be completed by 14 March 2018, unless the Head of Planning, Development and Regulatory Services agrees to a later date for completion of the agreement.

(The S106 to be subject to such terms and conditions that the Head of Legal and Democratic Services considers appropriate and in the best interests of the Council.)

And subject to conditions to include the following:

(pre-commencement conditions labelled '(PC)')

1. TL1 The Standard time limit
2. AP1 Approved plans condition
3. M2 Materials (details and samples) to be approved (to include details and sample panel of facing brickwork and feature brickwork showing brick type and colour, mortar mix, bond and pointing; and details and sample of roof materials) (PC)
4. AC1 Archaeology - submission and implementation of Written Scheme of Investigation (PC)
5. PD9 Restriction on use - sui generis university halls of residence only.

Trees and Landscape:

6. L2a Landscaping - full details of hard and soft landscaping to be submitted, to be in accordance with the principles shown on submitted landscape drawings 3025_L_SW_0_01 Rev 02 and to include full details of proposed and existing services above and below ground and including SuDS drainage proposals. To include large canopy, native and wildlife-friendly species. To include a timetable for the provision of landscaping. (PC)
7. L4 - The standard tree protection condition (PC)
8. L6a - Submission of Arboricultural Method Statement for protection of all trees within and adjacent to the site (PC)
9. L10 - The standard landscape boundaries condition - details to be submitted (PC)
10. L2b - Implementation of approved landscaping plans and documents in accordance with approved timetable.
11. Detailed section drawings and details of works to provide retaining walls surrounding Block I, including measures to address ground stability and groundwater (PC)
12. Detailed landscaping proposals for rear of Block I (drawing 3025_L_SW_1_01 dated 16 January 2018) to be implemented prior to first occupation of Block I.
13. L3 - Standard Landscaping Maintenance - any plants/trees that fail within 5 years of planting to be replaced.
14. L5 - Landscaping Management Plan to be submitted
15. L6b - Arboricultural method statement to be followed

Ecology

16. N16 External Lighting - Full details to be agreed. To include a plan indicating the locations of the lights, specifications, height, luminance (isolux contour map); lens shape/beam pattern and any hoods/shades and should have due regard to the location of existing and proposed trees. Plans to indicate areas identified as being of importance for commuting and foraging bats. No lighting other than in accordance with approved details. (PC)
17. Construction Environmental Management Plan (CEMP:Biodiversity) to be submitted for approval prior to commencement. Approved CEMP to be adhered to throughout the demolition and construction period. (PC)
18. Submission of Landscape and Ecological Management Plan (LEMP) to include all

mitigation and enhancement measures detailed in submitted Ecological Impact Assessment rev.06 dated 25 January 2018 together with a timetable for implementation to be submitted for approval. (PC)

Transport

19. CO2 Construction Method Statement (PC)
20. DC5 Bicycle parking - provision in accordance with plans to be submitted prior to commencement.(PC)
21. DC1 Vehicle parking space provided in accordance with approved plans prior to occupation.
22. DC2 Vehicle access provided in accordance with approved plans prior to occupation
23. Visibility splays of 2.4 x 70 to be provided for new access prior to occupation
24. Within 3 months of first occupation, the Reading University Travel Plan (updated to include this application site) to be submitted to and approved by the local planning authority. The plan shall include a full analysis of the existing / proposed modal split for staff at St Patricks Hall, reasons for the modal choice and detailed proposals for future transport provision with the aim of securing reduction in car trips generated to and from the site.
25. Annual Review of Travel Plan
26. Student arrivals/departures and car parking management plan to be submitted to and approved in writing by the local planning authority, prior to first occupation - implementation in accordance with approved plan.
27. Annual Review of student arrivals/departures and car parking management plan.

Environmental Protection

28. CO3 - Establishing if site is contaminated (PC)
29. CO4 - Remediation scheme needed as site is known to be contaminated (PC)
30. CO5 - Remediation to be implemented (PC)
31. CO6 - Reporting unexpected contamination
32. N2 - Noise assessment for mechanical plant (including that associated with CHP plant) before installation, to include details of noise insulation or mitigation measures. Installation in accordance with approved details.
33. Glazing and entrance of the front façade of the 'Hub' building to be installed in accordance with the specifications recommended within (SRL, Acoustic Report for Planning, 15 November 2017, report number C13904A/T09/JEE prior to first occupation.

Construction

34. CO2 - Construction Method Statement (to include controls on noise and dust and bonfires) (PC)
35. CO1 - Construction/demolition - standard hours

Amenity

36. All building heights and floor levels to be in accordance with approved drawing number StP-WIA-00-GF-DR-A-000004 Rev.A dated 16 January 2018, prior to first occupation of the building to which they relate.
37. No part of Block I to be occupied until all projecting privacy fins have been fitted to the north east elevation as shown on the approved drawing. Fins to be maintained as approved at all times thereafter.
38. PD5 - No use of roofs - flat roofs not to be used as terrace, roof garden or similar amenity area.

Environmental Sustainability

39. SU5 - SuDS Detailed Drainage Design to be submitted including timetable for implementation and management and annual maintenance plan. (PC)
40. Site Waste Management Plan re-use and recycling of demolition waste - Policy CS2
41. SU3 - BREEAM Interim Certificate - 'Very Good' standard with minimum score of 62.5 (PC)
42. SU4 - BREEAM Final BREEAM Certificate prior to first occupation of the building to

which it relates.

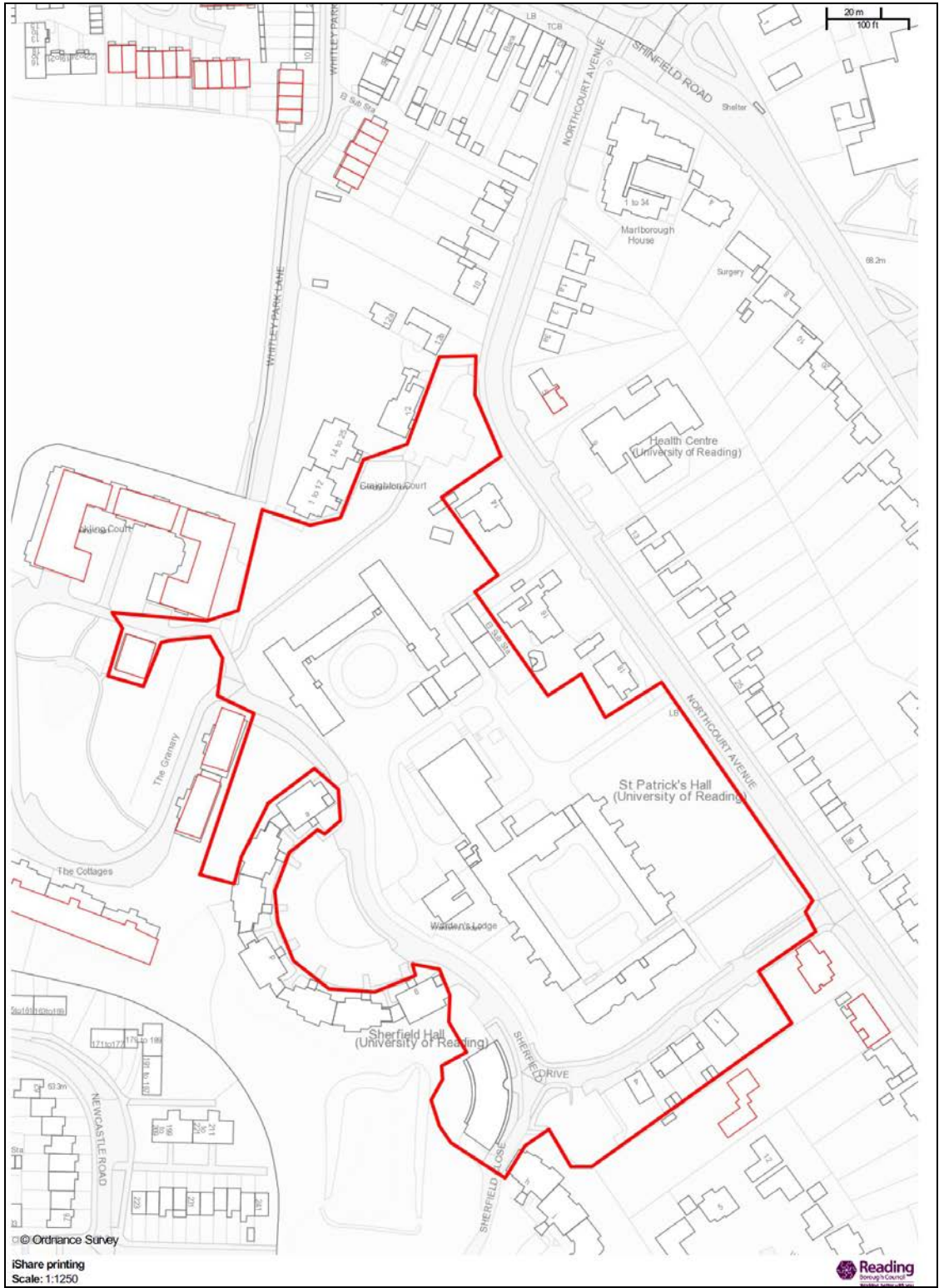
43. CHP Plant to be provided prior to first occupation.
44. SU6 - No building hereby permitted shall be occupied until the sustainable drainage scheme for the site has been completed in accordance with the submitted and approved details.

Informatives

1. Positive and Proactive Approach
2. Drawings
3. Highways - recovery of expenses due to damage caused by construction traffic.
4. S106
5. Compliance with terms of permission.
6. CIL
7. Parking Permits - no entitlement to permit (any future permit scheme)

1. INTRODUCTION

- 1.1 The site forms part of a wider residential campus containing a number of halls of residence and ancillary support buildings serving the University of Reading. A total number 1081 student bedspaces currently exist within the wider site (see appendix 2).
- 1.2 The St Patrick's campus is sited approximately two kilometres to the south east of the town centre and approximately 250 metres west of the Shinfield Road boundary of the main Whiteknights Campus.
- 1.3 The application site measures 3.6 hectares and includes the residential buildings of Pearson's Court (early 20th Century) and New Court (1960s) and a cafeteria building.
- 1.4 Whitley Park Farmhouse towards the south western corner of the wider site is Grade II listed.
- 1.5 The main vehicle entrance serving the wider site is Sherfield Drive, off Northcourt Avenue, with a secondary entrance serving Pearson's Court and the cafeteria centrally located on the Northcourt Avenue frontage. A pedestrian access off Northcourt Avenue is located adjacent to Creighton Court at the western end of the site.



Site location plan - not to scale



Site Photograph

2. RELEVANT PLANNING HISTORY

- 2.1 161182/FUL - Demolition of St Patrick's Hall of residence buildings, the Northcourt reception/bar building and university residences at 1, 2, 3 & 4 Sherfield Drive and the construction of residences for students, a cafeteria/bar, bin and bike stores, sub-station and energy centre, together with a new access link and landscaping. Minor alterations to elevations of existing office building. Withdrawn. *(This withdrawn application proposed 1024 new student bedspaces and 6 three-bedroom flats for students with families, resulting in a proposed net increase of 726 bedspaces).*
- 2.2 152106/SCR - Request for screening opinion on the need for an Environmental Impact Assessment for the redevelopment of St Patricks Hall. Decision: EIA Environmental Statement not required (4 May 2016).
- 2.3 151596/PRE - Redevelopment of St Patrick's Hall, Northcourt Avenue - Level 3 pre-app meetings held.

3. PROPOSALS

- 3.1 Full planning permission is sought for:
- i) 836 new bedspaces within the site, a net increase of 654, resulting in a total student population within the wider Northcourt Avenue site of 1735 (compared with 1081 currently).
 - ii) Erection of new blocks of student accommodation arranged around a central courtyard ranging in height between four and five storeys (Blocks A to G), in the general location of the existing 1960s New Court complex which is to be demolished.
 - iii) Erection of a two and a half storey terrace of four student houses on the existing car park adjacent to the Sherfield Drive entrance (Block H).

- iv) A two storey block of student flats (Block I).
 - v) A four storey block of student flats in place of the existing student union bar building adjacent to Sherfield Close (Block J).
 - vi) Erection of new student 'Hub' building containing bar and café with three stories of student residential accommodation above (Block K).
 - vii) A four storey (fourth within a Mansard roof) building to replace the existing SETS building at the southern end of the Pearson's Court quadrangle.
 - viii) A four storey block of student flats adjacent to Creighton Court (Block L) .
 - ix) A new gas-fired combined heat and power building to the rear of 'Chedworth'.
 - x) A new single storey security building is proposed at the north west corner of the site.
- 3.2 The proposals retain the western, northern and eastern ranges of Pearson's Court, which was added to the Council's List of Locally Important Buildings and Structures ('Locally Listed') during the course of the previous application. All other buildings within the site are proposed to be demolished, with the exception of the existing residential buildings at 1, 2 and 3 Sherfield Drive.
- 3.3 The proposals have been amended on the advice of officers to reduce the scale and change the window configuration of 'Block I' at the southern end of the site. The applicant has also opted to amend the scale of Blocks A and B, reducing it from six to five storeys during the course of the application.
- 3.4 A schedule of the number of bedrooms across the wider St Patricks site as a whole, as existing and as proposed, is included at Appendix 2.
- Community Infrastructure Levy (CIL)
- 3.5 The development would be liable for CIL due to the amount of new floorspace proposed.
- 3.6 The Council's CIL charging schedule sets a base rate of £120 per square metre for residential floorspace, including student accommodation. The rate is index linked and the current rate for 2018 is £147.29 per square metre.
- 3.7 The new floorspace proposed is 21383.75sqm
- 3.8 Floorspace to be demolished that has been in use for at least 6 months in the last 3 years is 5865.55sqm
- 3.9 Existing floorspace to be retained within the site is 3628.09sqm
- 3.10 The estimated basic CIL charge would therefore be £1,751,294.30 [one million seven hundred and fifty one thousand two hundred and ninety four pounds and thirty pence]
- 3.11 However it should be noted that the CIL Regulations allow for an exemption from payment for charities. The University, as applicant and landowner has submitted an exemption form requesting relief on the basis that it is a registered charity. This can only be processed and a decision made once the application has been determined and CIL Liability assumed and the Relief criteria met. It should

therefore not be assumed that the Council will be entitled to claim the CIL charge from the developer.

- 3.12 To qualify for the relief, there are a number of qualifying criteria. The charity will need to demonstrate that they meet these criteria as part of the CIL process, post-decision.
- 3.13 Additionally the relief is subject to a clawback period where a disqualifying event would trigger the withdrawal of the charitable relief. In this instance the clawback would be seven years from the date on which the chargeable development commences.
- 3.15 This gives an indication of the likely CIL outcomes but is provided without prejudice to further examination of the CIL application by the Council.

4. CONSULTATIONS

Environment Agency

- 4.1 (consulted as the site is in flood zone 1 but exceeds 1 hectare in size).
No objection received

RBC Transport Development Control (TDC)

- 4.2 The site is located within a sustainable location with students and visitors able to access St Patrick's Hall of Residence on foot from Whiteknights Campus, London Road Campus and other key facilities in south-west Reading. All local roads to the halls (Northcourt Avenue, Wellington Avenue, Pepper Lane, A327) exhibit continuous footway provision with street lighting.
- 4.3 A controlled pedestrian crossing on the A327 exists at two separate points adjacent to the Northcourt Avenue/A327 priority junction, which assists with the movement of students crossing the A327 to access the northern area of the Whiteknights Campus and Redlands Road.
- 4.4 The walking distance between St Patrick's Hall and the Shinfield Road entrance into Whiteknights Campus is 450 metres, which is the most convenient entrance for areas north of the campus including the sports centre and the majority of Halls of Residence. The central and southern areas of the campus including the University Library and Reading Enterprise Centre are most conveniently accessed from the Halls via Northcourt Avenue (south) and Pepper Lane. The Pepper Lane entrance is located 900 metres from St Patrick's Hall.
- 4.5 It is likely that a large proportion of students at St Patrick's Hall of Residence will own a bicycle as a form of transport to local areas.
- 4.6 ReadyBike stands are also available offering bike hire by the hour at the following locations:
 - a. on the south-eastern corner of the Elmhurst Road/A327/Redlands Road signalised junction;
 - b. opposite the University's Chaplaincy Centre 100 metres from the University Library; and
 - c. east of Randolph College.
- 4.7 Shower facilities are also located at several buildings on the campus should students travelling by bicycle from the Halls of Residence require these. Cycle parking compounds can be found across the campus providing over 1,800 cycle parking spaces.

- 4.8 Bus services are located within close proximity to the application site with the closest bus stops to St Patrick’s Hall of Residence located on the A327 within 300m either side of the Northcourt Avenue / A327 Christchurch Road junction.
- 4.9 These bus stops are served by Reading Bus service Claret 21 / 21a, 3 and 9 providing up to 9 buses an hour between the site and the town centre.
- 4.10 Following initial scoping discussions with the applicant it was agreed that any application would need to be accompanied by a Transport Statement. TDC Comments on the Transport Statement are as follows:
- 4.11 The proposed development is to be generally car free apart from a small proportion of parking for staff and accessible spaces (9 spaces), vehicle trip generation is therefore anticipated to be low. The University’s Student Residence Agreement (SRA) requires students to enter into a contractual agreement which prohibits students parking on campus and on the local roads within 1 mile of the University. The proposed vehicle trip generation has been based on the travel modes by students at the existing St Patricks Hall that can be found at Table 1 of the Transport Technical Note. This Table also illustrates the comparison over previous years and can be found below.

Table 1: Travel Mode to Campus (Travel Survey Comparison)

Mode of Travel	(2013)	(2014)	(2016)
Cycle	2%	4%	7%
Motorcycle/ Scooter/Moped	2%	0%	0%
Walk	95%	96%	93%
Bus	0%	0%	0%
Car as driver alone	0%	0%	0%
Car as driver with passengers	0%	0%	0%
Car as passenger	0%	0%	0%
Train	0%	0%	0%
Taxi	0%	0%	0%
Not applicable/don't do this	0%	0%	0%

- 4.12 As can be seen, the 2016 modal splits are consistent with the previous survey results. The conclusions drawn within the 2017 Transport Statement are therefore still current, i.e. that the development proposal would not have a severe residual impact on the operation of the local highway or sustainable transport networks, in accordance with the requirements of national and local planning policy, and a safe means of access can be provided.
- 4.13 For completeness, the applicant has assessed the daily multimodal trip generation of the proposed development to reflect the latest modal splits and the reduction in the proposed number of new student bedrooms.
- 4.14 As with the 2014 travel survey, the 2016 survey does not provide a breakdown of travel mode by journey purpose. Therefore the same methodology in the Transport Statement has been employed here; the journey purpose information has been based on the 2013 survey results. The 2013 survey was a one-off survey and more up-to-date information is not available.
- 4.15 The multi-modal trip generation for the proposed redevelopment by journey purpose is summarised in Table 2 below.

Table 2: Most Recent Modal Share by Journey Purpose

Mode/Journey Purpose	Lectures/ Campus (2016)	Grocery Shopping (2013) Ref: Table 3.4	Reading - Daytime (2013) Table 3.4	Reading – Night Time (2013) Table 3.4	Out of Reading (2013) Table 3.4
Cycle	7%	0%	0%	2%	0%
Motorcycle/ Scooter/Moped	0%	2%	2%	2%	0%
Walk	93%	66%	48%	16%	7%
Bus	0%	11%	45%	25%	11%
Car as driver alone	0%	2%	0%	0%	2%
Car as driver with passengers	0%	5%	0%	0%	2%
Car as passenger	0%	0%	0%	0%	2%
Train	0%	0%	2%	0%	48%
Taxi	0%	0%	0%	50%	0%
Not applicable/don't do this	0%	14%	2%	5%	27%

- 4.16 Applying the modal shares presented above to the proposed development (prior to the reductions in scale during the course of the application) (952 bedrooms) has provided the potential multi-modal trip generation for the development, by journey purpose presented in Table 3 below.

Table 3: Proposed Development (952 bedrooms) Daily Multimodal Trips by Journey Purpose

Modal Split	Lectures/ Campus (2016)	Grocery Shopping	Reading - Daytime	Reading - Night Time	Out of Reading	Total
Cycle	71	0	0	14	0	84
Motorcycle/ Scooter/Moped	0	9	6	14	0	29
Walk	881	257	124	96	2	1,360
Bus	0	44	118	151	2	316
Car as driver alone	0	9	0	0	0	9
Car as driver with passengers	0	18	0	0	1	18
Car as passenger	0	0	0	0	0	0
Train	0	0	6	0	10	16
Taxi	0	0	0	303	0	303
Not applicable/don't do this	0	53	6	28	6	92

- 4.17 The existing student accommodation comprises of 298 student bedrooms, as such the redevelopment will result in a net increase of 654 student bedrooms. The existing development is currently occupied and therefore the trips generated by the student's halls are present on the local transport networks.
- 4.18 Table 4 presents the potential net increase of students, by journey purpose for the proposed redevelopment.

Table 4: Net Daily Student Trips by Journey Purpose

Modal Split	Lectures/ Campus (2016)	Grocery Shopping	Reading (daytime)	Reading (night time)	Out of Reading	Total
Cycle	48	0	0	9	0	58
Motorcycle/Scooter/Moped	0	6	4	9	0	20
Walk	606	176	85	66	1	934
Bus	0	30	81	104	2	217
Car as driver alone	0	6	0	0	0	6
Car driver with passengers	0	12	0	0	0	12
Car as passenger	0	0	0	0	0	0
Train	0	0	4	0	7	11
Taxi	0	0	0	208	0	208
Not applicable/don't do this	0	36	4	19	4	64

- 4.19 As per the findings of the Transport Statement, the above assessment demonstrates there would be increases in pedestrian movements to/from the university, but that the number of students travelling by car would remain minimal for all journey purposes. The development is proposed to be car free and as such only those students permitted to park at halls would account for car driver trips.
- 4.20 The tables above highlight that the development will result in a significant increase in pedestrian trips and it is stated at paragraph 6.2 of the Transport Statement that the existing pedestrian crossing facility located at the junction of Shinfield Road and Northcourt Avenue is not currently used in the manner intended, with pedestrians not using the central island.
- 4.21 The Personal Injury Accident data indicates that this junction poses a risk to users and therefore increased pedestrian movements, without sufficient improvements to the crossing facility, could increase risk of personal injury accidents. The Transport Statement has implied that this could be resolved by redesigning the crossing which would likely require an increase to the width of the pedestrian island to serve additional pedestrian movements.
- 4.22 Given that the proposed development will introduce an increase in pedestrian movements between the application site and the University Campus utilizing this crossing facility the applicants should contribute towards the upgrade of this crossing. As a result a contribution of £30,000 is sought towards the upgrade to this junction.
- 4.23 A Travel Plan has been submitted to accompany the application and in principle is acceptable subject to the up to date survey information from 2016 being included, as a result I am happy for this to be dealt with by way of a condition.

Parking

- 4.24 In accordance with the Council's adopted parking policy, the redevelopment is proposed to be car free with only car parking for staff, visitors and residents of accessible units by permit only. Total parking on-site is to be provided for 30 vehicles. Parking is to be provided for each of accessible residential units equating to 9 parking spaces. Parking is to be provided for staff at a provision of 21 spaces. An additional space is to be provided for moped/motorcycle parking. The Council's Parking SPD refers to Halls of Residence and implies that such accommodation would be on the University Campus ("on site"). The site is detached from the campus but because it is within such close proximity, TDC

accept that requiring compliance with the Council’s Halls of Residence standard is appropriate.

- 4.25 The proposed provision of car parking and the car parking layout that been provided complies with policy.
- 4.26 During the pre-application discussions it was acknowledged that given the scale of the development there was likely to be concern from local residents with regards to on street parking as a result of the development. It was therefore agreed that a parking beat survey be undertaken of Northcourt Avenue and Wellington Avenue during term time and out of term time, with the study area covering the roads up to 200m and/or to the nearest junction from the development site.
- 4.27 To ensure that the parking survey captured residential parking and not overspill parking related to other uses in the area during the day it was agreed that the survey should be undertaken between the hours of 0030 and 0530 on a weekday night. The parking beat survey was undertaken at 0100 hours on Wednesday, 11th November (term time).
- 4.28 The results of the parking beat survey can be found below at Table 6.3 (taken from the Transport Statement), this confirms that there is limited on street parking that occurs during the peak residential parking perking period.

Table 6.3: Parking Demand by Road

Location	11 Nov 2015		16 Dec 2015		27 Sep 2016		29 Sep 2016	
	No. Cars	Available spaces	No. Cars	Available spaces	No. Cars	Available spaces	No. Cars	Available spaces
Northcourt Ave (east)	3	35	2	37	3	36	4	35
Northcourt Ave (west)	9	31	5	36	6	35	8	32
Wellington Ave (north)	1	14	2	12	0	14	0	14
Wellington Ave (south)	2	10	2	10	2	8	2	8
Total	15	90	11	95	11	93	14	89

Table 6.2: Parking Beat Survey Results Summary

Survey Period	Term-time		Out of Term-Time		Difference: Term-Time vs Holidays	
Date	No. Cars	Available spaces	No. Cars	Available spaces	No. Cars	Available spaces
Nov/Dec 2015	15	90	11	95	4	-5
27 Sept 2016	11	93	-	-	0	-2
29 Sept 2016	14	89	-	-	3	-6
Average	-				2.33	-4.33

- 4.29 A comparison between the term time and out of term time (Table 6.2 above) identifies that there is very little difference when the two are compared.
- 4.30 Survey data has also been submitted by local residents for a smaller area than was surveyed by the applicant, but for an increased number of nights. The

residents' survey data also provides parking numbers for term time and out of term time to provide a comparison.

- 4.31 This survey identifies a variance of overnight parking during term time of between 14 and 35 cars, which is an increase above the surveys undertaken by the applicant. The time the survey results have been collected by residents does vary in the evening, between 19:50 and 00:15, but there does not appear to be any correlation between the time and the number of cars. Given the variances it would appear that there is likely to be a proportion of visitor parking associated with student accommodation but this could also be associated with the other surrounding residential units and night time activities at the University Campus.
- 4.32 It is noted that daytime parking has been assessed by local residents but as stated above the overspill parking that would occur from other uses during the day would make assessing the impact of parking associated with the student accommodation difficult. I therefore have not used this data to assess the parking impact of the development.
- 4.33 Based on the survey results the proposed development would have minimal impacts within regards on street parking and therefore has been deemed acceptable.
- 4.34 Cycle parking has been proposed that complies with the Council's standards with a provision of 270 cycles spaces on site. This level of provision exceeds the Councils standard of 1 cycle space per 5 students and therefore is deemed acceptable.
- 4.35 The Council's standard also requires cycle parking at a ratio of 1 cycle space per 3 staff which would require a provision of 7 spaces. The proposal includes with up to 17 cycles proposed on site and therefore also complies.
- 4.36 It is also noted that four cycle stores are proposed each able of accommodating 68 bicycles. Sheffield type stands are not proposed in 3 out of 4 stores with a provision of vertical parking illustrated. This type of cycle parking would not be accepted and therefore a revised drawing should be submitted illustrating Sheffield type stands or an acceptable alternative e.g. two tier Josta-style cycle parking. Further information has been provided that stipulates that one of the stores proposed would accommodate 68 Sheffield type stands however these facilities would not be able to accommodate this number of Sheffield type stands. TDC appreciate the need to manage impacts on tree roots but the cycle parking should be in an acceptable form to encourage and promote the use of cycling as an alternative mode of transport. Further information should therefore be provided, but TDC are satisfied that this can be dealt with by way of a condition.
- 4.37 At the beginning and end of term time there will be peak periods when student vehicles will need to enter and park on site associated with moving in and out of accommodation. The applicant has established a management plan which manages arrivals, parking and induction into the accommodation. The management strategy incorporates the following measures:
- Each student is issued with a staggered arrival time to mitigate delays and congestion on arrival;
 - Students are given 30 minutes to drive on to site to unload their car near to their accommodation;
 - A clearly signed one way system is introduced on the day of intake, to reduce the impact of traffic on the surrounding roads and manage the flow of student arrival through the day;

- Staff assist the management of arrivals and ensure parking restrictions are adhered to;
- Temporary dedicated parking facilities offsite provided for cars once initial drop off has been completed; and
- Leaflet drops to local residents are also completed before intake, advising residents of key dates and activities together with a round the clock contact number.

4.38 In principle, the above is acceptable subject to the full management plan being submitted. TDC are satisfied that this can be dealt with by way of a condition.

Access

4.39 Whilst only minimal car parking is to be proposed on site for students, vehicular access for staff and visitor parking, as well as vehicular access for servicing and deliveries and emergency access, will be retained from Northcourt Avenue.

4.40 It is proposed to retain the existing vehicular access south of the halls from Northcourt Avenue (Sherfield Drive). As part of the proposals an additional section of road will be created within the site and the north-west access will be upgraded to provide an additional vehicular and pedestrian access onto Northcourt Avenue.

4.41 This northern access will become the 'Northern Green Access Corridor, which has been designed to direct pedestrians away from Northcourt Avenue drawing them into St Patrick's Hall. This route will also be suitable for vehicles and will include parking, and a lay-by/ drop off zone.

4.42 The new access will also improve access to Benyon Hall thereby reducing traffic using the southern entrance and vehicle movements across the St Patricks Hall site, benefitting the pedestrian environment.

4.43 The provision of the northern access will provide a dedicated, safer, night time route for students returning from campus, buses and/or the town centre on foot/cycle. The added benefit will also be a reduction in pedestrian and cycle traffic along the frontages of the private residential properties fronting Northcourt Avenue.

4.44 The vehicular route is to be 5.8m to 6m in width and is therefore acceptable to accommodate two-way traffic.

4.45 Given the relatively low level of traffic, it has been agreed that the northern access can take the form of a vehicle crossover. A visibility splay of 2.4m x 43m is required but the submitted drawing illustrates a visibility splay of 2.4m x 70m which is well in excess of the required standard. In view of the road alignment and typical on street parking in this location, it has been agreed that visibility to the north can be provided to the edge of the parked car.

4.46 The site layout has been designed to ensure that refuse and service vehicles can enter and exit the site in forward gear. All vehicles will enter the site at the southern access and exit via the north-west access. An 'Auto Track' assessment has been undertaken to demonstrate that the proposed layout enables a refuse vehicle to manoeuvre within the site. Although the vehicle used is smaller than the vehicles used by Reading Borough Council, this is marginal and TDC are satisfied that a refuse vehicle would be able to travel through the site.

Construction

4.47 It is stated at Point 7.13 that a 'just in time' delivery system will be operational, with vehicles waiting in the numerous lay-bys and lorry parks surrounding

Reading town centre. As such there will be sufficient parking availability for HGV's onsite, with limited vehicles waiting on Northcourt Avenue. This is to be secured in full detail in a Construction Method Statement. TDC would stress that vehicles waiting on Northcourt Avenue would not be accepted, vehicles should therefore be allowed onto site or waved away to come back at a later time.

4.48 As a general point the CMS should state that no loading / unloading, parking, storage of materials will be undertaken at any time.

4.49 TDC would also draw your attention to the Councils Guidance Notes for Activities on the Public Highway, which can be found at the following link.
<http://www.reading.gov.uk/maintenanceandroadworks>

4.50 There are therefore currently no objections to the development subject to the following conditions.

DC1 Vehicle parking space provided in accordance with approved plans

DC2 Vehicle access provided in accordance with approved plans

DC5 Bicycle parking - plans to be approved

DC6 Bin storage

CO2 Construction Method Statement

Condition. Visibility splays to be provided before development commences

Condition. Travel Plan - UoR Travel Plan to be updated to include application site

Condition. Annual Review of Travel Plan

Condition. Student arrivals / departures and Car Parking Management Plan - details of the allocation of the car parking spaces and management of the student arrivals and departures - Prior to first occupation.

Lead Flood Authority (RBC Highways)

4.51 Confirm that the proposed sustainable drainage system is acceptable subject to conditions securing full specifications of the SuDS design and its implementation prior to first occupation, together with details of the implementation, maintenance and future management of the sustainable drainage scheme.

RBC Natural Environment - Trees

4.52 In terms of tree removal, the proposal involves the removal only of those trees previously agreed during the consideration of withdrawn application 161182/FUL and 68 trees are now proposed for removal instead of 72. Tree Retention and Removal Plan 3025_L_TP_0_01 Rev 02 indicates that 95 trees are to be planted, hence there will be a net gain in tree number of 27 which would meet the objectives of our Tree Strategy to increase canopy cover. In addition, money for 4 street trees opposite the site in Northcourt Avenue is to be secured via the S106 legal agreement.

4.53 It is noted that new tree species as shown on Landscape_softworks drawing 3025_L_SW_0_01 Rev 02 are in line with the species suggestions from the University's Ground Department and Natural Environment have no objections to these. Other landscape features, as shown on this plan and on Illustrative Masterplan 3025-L-GA_0_01 appear in line with previous discussions, details of which will need to be secured.

4.54 With reference to the Tree Survey, AIA & AMS from Challice Consulting, ref CC/1500 AR3552, dated 9 November 2017, this document is generally acceptable - see comments below.

4.55 In general the proposals are acceptable. However the following matters require attention.

- 4.56 In relation to lighting, External Lighting Layout & CCTV drawing PO263(60)SK03B appears to present some conflicts with new or existing trees, full revised details can be secured by condition.
- 4.57 In relation to services as shown on Services drawings PO263(50)SK01G and Incoming & Existing Services layout PO263(50)004, there are conflicts with RPAs of retained trees, e.g. T 64, 93, 12, 32. In relation to the Arboricultural Method Statement para. 23.1 states that services are outside RPAs, which does not appear to be the case (see above), hence service installation should be dealt with in the AMS, to be secured by condition.
- 4.58 Sustainable Drainage proposal drawing (Drainage Strategy Plan BR1508-CUR-SK-D02 D) and SUDs Statement Part 4 - the layout on which does not appear to be the current proposed layout. It is important to ensure that SUDs (particularly underground cellular storage) do not conflict with new or existing trees.
- 4.59 The following conditions are recommended:
- L2a Landscaping - When details need to be submitted for approval (pre-commencement) in line with Landscape_softworks drawing 3025_L_SW_0_01 Rev 02
 - L2b Landscaping implementation
 - L3 Standard Landscaping Maintenance
 - L4 The standard tree protection condition
 - L5 Landscape Management Plan details
 - L6a Arboricultural method statement needed
 - L6b Arboricultural method statement to be followed
 - N16 External Lighting - When details need to be agreed (Pre-commencement) Design to have due regard to the location of existing and proposed trees
- RBC Ecologist
- 4.60 The Ecological Impact Assessment (The Landmark Practice, November 2017) (updated January 2018 to reflect the amendments to the proposal) describes the detailed ecological assessments that have been undertaken between 2015 and 2017. The surveys have been carried out to an appropriate standard and show that any impact upon protected species will be minimal, provided that the precautionary mitigation as described in the report is implemented. This includes timing the vegetation clearance to avoid the bird nesting season, cutting the vegetation to ground level to deter future use by reptiles, updating bat and badger surveys prior to the commencement of each development phase, as well as the creation of the 'Northern Green Access Corridor' ("created to enhance the habitats present in the north-west of the site", Section 6.3). These can be secured via a condition requiring a Construction Environmental Management Plan (CEMP) to be submitted.
- 4.61 In terms of great crested newts, the submitted survey report, found that the species was absent.
- 4.62 The applicant has submitted an outline landscaping scheme that includes new planting. A condition should be set to ensure that full details are submitted including details of future management.
- 4.63 The applicant has submitted plans showing horizontal lighting levels, which appear to show minimal light spillage. However, it will be important to ensure that the lighting does not adversely affect wildlife and further details should be provided. This can be secured by condition.

- 4.64 The proposals will likely result an increased use of the adjacent Whitley Park Farm/St Patricks Hall Pond Local Wildlife Site Local Wildlife Site as a result of the increased number of students (approx. 700) who would occupy the halls. As such, it is appropriate to have a planning obligation to ensure that the proposals do not result in a deterioration of the LWS, and that ecological value of the LWS is maintained (ideally improved) in the medium to long term. This is in accordance with policy CS36 of RBC's core strategy which states that: *"Local Nature Reserves and Wildlife Heritage Sites (Now called Local Wildlife Sites) will be safeguarded and where possible, enhanced. Permission will not be granted for any development that would adversely affect a designated nature reserve or Wildlife Heritage Site."*
- 4.65 The plan, which should be for 10 years, will need to include, but not necessarily be limited to the following, to be secured by S106 agreement:
- Management of the woodland to ensure that it is botanically and structurally diverse
 - Management of the ponds to ensure that they do not become silted up, colonised by invasive species etc.
 - Provision of bird and bat boxes
 - Measures to manage access.

RBC Environmental Protection

- 4.66 The noise assessment submitted (SRL, Acoustic Report for Planning, 15 November 2017, report number C13904A/T09/JEE) shows that noise levels around the site are low, with the dominant noise source being distant road traffic, and therefore thermal double glazing units with trickle vents will be acoustically acceptable on site to achieve the requisite internal noise standards.
- 4.67 The submitted noise assessment states the predicted limits for plant noise, rather than an actual assessment of noise from the proposed plant. The applicants note that it is not possible to do an accurate and detailed assessment of plant noise at this stage as final plant selections are not yet known, and therefore suggest a planning condition requiring a detailed plant noise assessment is recommended.
- 4.68 The noise assessment refers to the front façade of ground floor of the the Hub building ('Block K') which is fully glazed, an indicative glazing system has been included in the assessment, and the entrance doors are lobbied; predicted noise levels at the nearest noise sensitive receptor will be no greater than the measured night time background noise levels, which indicates a low noise impact.
- 4.69 Consideration could be given to attaching a condition to any consent to ensure that the glazing/entrance design recommendations of the noise assessment will be followed, or that alternative but equally or more effective measures will be used. Recommended condition below:
- 4.70 To minimise the disturbance by noise of future residential occupiers of the accommodation and its effect on neighbouring residents, residential accommodation must be designed and constructed or converted so as to achieve the insulation requirements set out in Building Regulations Approved Document E.

- 4.71 Noise from operation of the CHP and any associated plant should be included in the noise assessment as above, to be secured by condition. It is noted that the CHP will be gas fired and therefore there will be no noise from fuel deliveries.
- 4.72 The development proposes an increase in student numbers, however there will be no increase in parking and the majority of students will not be permitted to bring cars on to site. The application site does not fall within Reading's Air Quality Management Area. Therefore there are no concerns regarding exposure or adverse air quality impact.
- 4.73 Where development is proposed, the developer is responsible for ensuring that development is safe and suitable for use for the intended purpose or can be made so by remedial action.
- 4.74 A Site Investigation Report has been submitted (Curtins, Phase 2 Site Investigation, 3 November 2017, Ref B041466.003/GB/8133 Revision: A).
- 4.75 An isolated contaminant exceedance of Arsenic was recorded on site from Made Ground sample WS3, however the location of the exceedance will be beneath a building in the final development thereby breaking the pollutant linkage pathway to end users of the site. Therefore the associated risks are considered low with no specific remediation measures required.
- 4.76 Gas monitoring has been undertaken on the site, and is still ongoing, with a further four visits still to be completed at the time of submission of this report. The consultant states that current results indicate a classification of CS1 meaning no gas protection measures are required, however final reporting of the monitoring visits will be undertaken when the monitoring regime is complete. This is to be added as an addendum to this report. EP would need to see this addendum to ensure appropriate measures are put in place if the monitoring determines necessary. This and the other relevant findings of the report, as well as the gas monitoring results when complete (if necessary) should be confirmed within a formal remediation strategy to be submitted. A specific land gas remediation scheme may be required. Conditions to secure this are recommended:
- Submission of Remediation Scheme
 - Implementation of Approved Remediation Scheme
 - Reporting of Unexpected Contamination
- 4.77 With regard to external lighting, two separate plans have been submitted although they are difficult to read and interpret and it is recommended that full, detailed lighting proposals be secured by condition (HK Consulting Engineers, External Lighting LUX Plot Layout, P0263(60)SK02, revised 8/11/17 & External Lighting Layout & CCTV, P0263(60)SK03, revised 8/11/17).
- 4.78 EP have concerns about potential noise, dust and bonfires associated with the construction (and demolition) of the proposed development and possible adverse impact on nearby residents (and businesses) and air quality. A condition securing controls over noise, dust and bonfires during construction and demolition is recommended. The standard condition restricting hours of construction work and associated deliveries is also recommended (08:00hrs to 18:00hrs Mondays to Fridays, and 09:00hrs to 13:00hrs on Saturdays, and not at any time on Sundays and Bank or Statutory Holidays).

Royal Berkshire Fire and Rescue Service

- 4.79 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- Thames Valley Police Crime Prevention and Design Officer**
- 4.80 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- Scottish and Southern Electricity**
- 4.81 SSE has existing equipment in the development area, however as the applicant has already been in contact with SSE regarding the diversion of said equipment, SSE have no objections.
- Southern Gas Networks**
- 4.82 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- Thames Water**
- 4.83 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- Reading UK CIC**
- 4.84 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- Berkshire Archaeology**
- 4.85 The Archaeological Desk-Based Assessment submitted with the application provides detailed information regarding the known archaeological potential of the area and the previous uses of the proposal site through historic mapping.
- 4.86 In summary, based on the known archaeological remains from within the search area, the report identifies a low potential for prehistoric and/or Roman archaeology to be present within the site. Documentary research indicates that there are likely to be areas of significant truncation within the areas of previous development, but areas outside this are likely to have suffered very little disturbance, increasing the potential for archaeology to survive.
- 4.87 Given that the site has some archaeological potential, the report suggests targeted trial trenching within the areas not previously developed, identifying a number of locations. This is an appropriate approach for the first stage of archaeological work, although there are additional areas that should be included within the trenching, such as Blocks H and L, or areas of extensive ground work for services or roads for example.
- 4.88 As always depending on the results of the trial trenching further phases of investigation, prior to development, may be required and adequate time should be allowed for this within the development programme.
- 4.89 A condition requiring approval of a written scheme of archaeological investigation is attached to any planning permission granted, to mitigate the impact of the development is required.
- Sport England**
- 4.90 The site is not considered to form part of, or constitute a playing field as defined in The Town and Country Planning (Development Management Procedure) (England) Order 2015 (Statutory Instrument 2015 No.595), therefore Sport England has considered this a non-statutory consultation. This is because the width of the playing field adjacent to one of the new developments is not sufficient to accommodate a recognised size of pitch.

- 4.91 As the proposal does not have any impact on any existing sport facilities or playing fields, and does not generate significant demand for new indoor or outdoor sports facilities, Sport England has no comments to make
- Victorian Society (commented on 161182/FUL)
- 4.92 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- RBC Housing Development Team
- 4.93 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- RBC Access Officer
- 4.94 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- RBC Sustainability Team
- 4.95 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- RBC Waste Operations
- 4.96 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- RBC Valuation Team
- 4.97 No comment received. Any representations received prior to the committee meeting will be reported in an Update.
- Reading Civic Society (RCS)
- 4.98 The grounds for objection are:-
1. Having retained Pearson Court the new application should respect its scale and style. RCS take the view that this is not being done.
 2. The intensity of buildings within the space, their height and proximity to Persons Court is excessive.
 3. The materials are out of sympathy with the location and out of character with Pearson's Court and indeed also the Grade II Whitley Park Farmhouse on the site.
 4. Overall we consider the height of the proposed buildings to be excessive and not in keeping with the surrounding area. This is a residential area not part of the main university campus where such things have far less overall impact.
 5. This submission is very disappointing for a university which has a new School of Architecture. It should be seeking excellent design, impact and community engagement. We argue that, despite a massive amount of documentation, it has failed to achieve this. The community should be able to join with the university in saying "Fantastic Campus" rather than just the student community being appealed to in this way by the University's marketing.
- 4.99 The previous planning application planned to demolish St Patricks Hall, and other buildings, and to erect 1024 new student bed spaces along with ancillary works, a net increase of 726 bed spaces. The new application is for 24 less spaces.
- 4.100 RCS were impressed by Reading Borough Council's response to the previous planning application when it took the initiative to add Pearson's Court to the Local List of Heritage Buildings, it is one of Reading's seven Locally Listed buildings.

- 4.101 RCS also wish to note how quickly the University responded to this listing by withdrawing the previous application and thinking again.
- 4.102 RCS took part, in the Public Consultation at the University and talked and listened to the team there. RCS asked about how the listing was regarded. Clearly diplomacy was exercised and no comment was made. It was clear, if just from the body language, that the listing was, to say the least, an inconvenience.
- 4.103 RCS can understand such a position. However the decision having been made RCS are not encouraged by how the Heritage Building is being crowded by the proposed new buildings. The proposals do not exactly make a positive feature of this building, rather the new buildings dominate it. The issues are in proximity, height and mass of the new buildings. RCS note Block A is a six storey block just 22 metres from Pearson's Court with a further three blocks adjoining also of the same height and wonder how that is justified in a residential area.
- 4.104 The design seems almost brutal in its overall footprint and impact. Noting that the University has a new School of Architecture this proposal should surely be more imaginative, draw on the geography of the site to achieve the objective more intelligently, with a combination of more appropriately spaced out buildings which do not reach up to 6 storeys.
- 4.105 RCS are aware that residents have severe concerns on many fronts, not the least overlooking of gardens etc. It is surprising that the application has not anticipated this risk and sought to address the inevitable adverse reaction. Addressing the site layout and the heights more intelligently, in discussion with the local community, would have been surely the way ahead.
- 4.106 The proposal presented at the public exhibition has changed little, if at all. RCS cannot find any comment in the D+AS about feedback from that consultation. Perhaps everyone reserved their fire for the planning submission.
- 4.107 RCS have concerns that instead of the university delivering a project which the local community can support fully and say "Fantastic Campus" if planning approval is given to an un-refined scheme an unwelcome project will be imposed on the community.
- 4.108 RCS would request/demand that the university should be an example to its students and try harder.

Public Consultation

- 4.109 Neighbours adjoining the site and all objectors to 161182/FUL were consulted by letter.
- 4.110 Three site notices were displayed along the Northcourt Avenue frontage
- 4.111 An advertisement was placed in the local newspaper.
- 4.112 67 letters of objection were received, including detailed responses from the Northcourt Avenue Residents' Association (NARA). No letters of support were received.
- 4.113 A second round of consultation was carried out by letter on 18 January 2018 notifying neighbours and objectors of amended plans received in respect of Block I, and the associated change in the description of development. The deadline for additional comments is 31 January 2018 and any representations received will be reported to Committee in an Update Report.

4.114 A third round of consultation was carried out by letter on 25 January 2018 notifying neighbours and objectors of amended plans received in respect of Blocks A and B. The deadline for additional comments is 6 February 2018. A number have been received at time of writing and are summarised below and any representations received will be reported to Committee in an Update Report.

4.115 The matters raised by objectors are summarised as follows. The full text is available to view on the Planning Register website:
http://planning.reading.gov.uk/fastweb_PL/welcome.asp

a) *Design, Character and Heritage*

- Contrary to Policy CS7 in respect of density, mix, scale (height and massing), historical characteristics, regular building lines, regular heights (including rooflines), distinctive style and appearance and individual frontages.
- Contrary to Policy CS33 - the size and type of the proposed buildings is out of keeping with the locally listed Pearson's Court, and with nearby houses and with the history of the avenue. The CHP building is close to the road and locally listed building.
- Contrary to CS15 - proposals are significantly higher density. Overdevelopment. The existing floor area is 9297sqm, 5669sqm to be lost, new floor area 21933sqm - a 236% increase.
- Contrary to draft policy EN6 of the Pre-submission Draft Local Plan 2017.
- Approximately 4.3% of the site is built on. This would change to 17.7%. 35% loss in open space.
- St Patrick's Hall is part of Northcourt Avenue, a residential road. 6/7 storey buildings would face 1 storey buildings on the street.
- The density is well in excess of the recommended density of 35-55 dwellings per hectare.
- Not high quality design and does not reflect the identity of local surroundings and materials.
- Massive scale, ugly and out of scale proposals out of character and scale with the gracious long established local environment. 6 storey blocks will dwarf surrounding buildings.
- The replacement SETS building will dwarf, detract from and overwhelm the locally listed building.
- Out of sympathy with Grade II listed Whitley Park Farmhouse.
- Pearson's Court is of modulated shades of red brick with tiled roof. The new building with red and orange brick and grey metal top are glaringly intrusive and out of character.
- Para 4.4.29 of the Design and Access Statement included in the first application states "the five and six storey elements currently envisaged with the comprehensive redevelopment proposals would be out of scale with Pearson's Court, if the buildings were to be retained." What has changed? There is no consistency in the applicant's arguments.
- NARA considers that the planning application should be considered in a matter which is consistent with Bridges Hall in Wokingham Borough (F/2011/259). Building heights are restricted to 4 storeys.
- The university is running a public lecture series '*Communities by Design Encouraging conservation around architecture around communities in Reading*' and '*Place and Environment- Understanding Reading's past and present, working towards a smarter and more sustainable future*'. What the University/UPP is trying to force through does not fit with these fine sentiments.
- An alternative proposal is suggested.
- The tall six storey buildings will turn Northcourt Avenue into Little Manhattan.
- The suggestion in para. 3.15 of the Demand and Impact Assessment implies that the site is 'on campus' is incorrect.

- Request that the scale of buildings be limited to four storeys.
- The proposal would be contrary to draft policy ER1e of the Pre-submission Draft Local plan 2017 in terms of harm to the setting of the locally listed building, sewerage capacity and exceedance of the upper limit of 500 bedspaces suggested in the draft policy.
- The flat roofed buildings will be out of character with all buildings in the area, an eyesore and ugly. Lower, pitched roofed buildings would be more acceptable.
- The block to be built on the existing car park is too large and too high to be so close to the road.

b) *Transport/Highways*

- Contrary to Policy CS23 - junction of Shinfield Road and Northcourt Avenue is not appropriate or safe for the number of students. The transport statement records the accident history.
- The transport contribution towards enhanced pedestrian crossing facilities is welcome but this will not address hazards from parked cars in Northcourt Avenue.
- The access road has been laid out as a circuit, encouraging fast driving, rather than peaceful walking and cycling on site.
- The access at the bend of Northcourt Avenue opposite the health centre access presents a potential road safety hazard.
- The proposal will worsen severe parking problems, especially in the immediate vicinity of the site.
- There are currently 159 parking spaces within the St Patricks campus site, to be reduced to 78. Increase in student numbers by 64% but decrease parking by 46%. Virtually no visitor parking. Students will parking in the surrounding area.
- The University has no way of identifying student cars and has an unenforceable parking policy.
- Significant increase in the number of vehicles servicing the site for deliveries, refuse collection, taxis, site maintenance etc.
- Worsen the level of vehicles obstructing residents' driveways.
- A parking survey done in November 2015 to January 2016 clearly shows an increase in the number of cars parked when undergrads are in residence. Because of changes to parking restrictions elsewhere, the number of cars parked in Northcourt Avenue has increased significantly.
- Northcourt Avenue is designated a Strategic Cycle Route but is unsafe and further development will make this worse.
- No dedicated cycle lanes to the University are proposed.
- There will be an additional 702 students using the roads, creating traffic and parking spaces demand. The 702 additional students are exempt of council taxes and the road maintenance costs will be charged to the council taxpayers. UPP Group Ltd. has made over £10million profit on their accounts to the end of August 2016. This is again an example of wealth transfer from the tax payer to the private sector. UPP Group needs to make a substantial annual contribution to the council as well as to align their design to the character of the area.

c) *Student Accommodation and Community Matters*

- *Through the 1950s to early 1990s residents shared facilities with students including parties on the lawn, sports matches and use of the common room. Since UPP took over this has been abandoned.*
- *Accommodation should be provided at Whiteknights Campus rather than the St Patrick's site.*
- *University security staff, when contacted, do not act on anything but University property, so when noise disruption occurs in Northcourt Avenue, Wellington Avenue, Christchurch Road, The Mount, the do not intervene. NARA has no confidence that they will respond in the future.*

- *NARA strenuously dispute that there has been any significant discussion with UPP/UoR around core issues like scale and mass of buildings.*
 - *The UoR has sold Wells Hall, Sibley Hall, London Road and Bulmershe for housing then submits plans to overdevelop St Patrick's site.*
The UoR disposed of over 1,100 rooms at other sites as demand for accommodation was increasing.
 - *There will still be a net decrease in University supplied bedspaces due to UoR disposals.*
 - *UoR have a business strategy to increase the student population by 4000 over the next 3-4 years. It is not a requirement but a business decision.*
 - *The delicate balance of students to nonstudent residents is already at a critical level and is in danger of undermining standards and the character of the area should it increase further.*
 - *Lack of public consultation. In this case it is absolutely critical, and an essential next step, that the local residents should be closely involved in designing, discussing and evaluating the impact of possible options in this proposed development, in order to avoid the wide-ranging adverse and irreversible physical and environmental consequences.*
- d) *Residential Amenity*
- *The CHP building would remove any useful light from the habitable rooms of Chedworth House.*
 - *There is no detail on emissions from the CHP plant or its acoustic effects. This will cause noise disturbance to Northcourt Avenue.*
 - *The huge increase in the number of students and their movement to and from the university will have a large impact on local residents.*
 - *Contrary to Policy DM4 - overlooking to no 24 Northcourt Avenue, loss of sunlight to houses opposite the site, visual dominance of excessively high buildings and noise and disturbance from the increased number of students.*
 - *Overlooking of houses in Weardale Close.*
 - *Increased anti-social behaviour, noise and litter - late and night/early morning.*
 - *23 November 2017 the Council's Licensing Sub-Committee did not allow the extension of opening hours until 5am for Domino's Pizza at 64 Christchurch Road due to concerns over disturbance caused by the student population.*
 - *Loss of evening sunlight to houses opposite on Northcourt Avenue.*
 - *Glare from external lighting.*
 - *Noise broadcast from open windows due to heights of buildings.*
 - *A lower building design could be achieved e.g. St George's Hall*
 - *Blocks 'SETS', 'H' and 'I' are likely to reduce privacy to 24a Northcourt Avenue*
 - *(In response to consultation on the revised Block I) - Study bedrooms will look directly into the bedrooms and garden of 24 Northcourt Ave and the gardens of 2 and 3 Sherfield Drive.*
- e) *Trees*
- *Trees on the site are numerous, attractive and important for wildlife. It is regrettable that the proposal includes the removal of 68 trees, many of which are mature or semi-mature and species rich habitats.*
 - *Contrary to Draft Policy EN14 Trees Hedges and Woodlands*
- f) *Ecology*
- *Established wildlife corridors would be interfered with.*
- g) *Construction*
- *There would be a large number of HGVs and other vehicles going past the houses of residents for a period of at least 2 years.*

- Can the residents of Northcourt Avenue be given an assurance that work will only take place Monday to Friday during normal working hours and that the grass in front of Pearson's Court will not be flood lit or patrolled by dogs if used as a construction compound
 - What will be done about damage to the road due to construction traffic?
- h) *Infrastructure*
- Contrary to Policy CS31 - The significant increase in the number of students will add significant pressure on local residents and facilities such as healthcare and bus services.
 - Inadequate water supply and sewerage infrastructure to serve the development.
 - Lack of any social housing offset such as providing a portion (10%?) of the accommodation for Reading's homeless single people shows 'Middle Class Bias' in the plans.
- i) *Environmental*
- The size of building is guaranteed to produce a wind tunnel effect.
 - It is wasteful to demolish existing buildings that could be made to meet modern standards of insulation.
- j) *MP Letter*
- A letter has been received from Matt Rodda MP objecting to the application on the following grounds:
- The proposals are out of keeping with other buildings and the scale of the development in the area. The proposal would change a green and pleasant arts-and-crafts road into a highly urban and over-developed urban area.
 - The application is contrary to policies in the Core Strategy and draft Local Plan.
 - Pearson's Court would be totally overshadowed by the proposed development.
 - The massing of large, modern, tall buildings on this currently moderately developed site would be out of keeping with the area and with the university area as a whole.
 - The materials are inappropriate and are very different to the existing built environment.
 - There is a long-standing planning agreement between Reading and Wokingham Boroughs that development at the university would be a similar scale in either borough.
 - Overlooking to the garden of 24 Northcourt Avenue.
 - Urge the Council Planning Department to consider the alternative design put forward by one of the residents who is an architect.
 - While not a planning criterion, the application seems sadly out of keeping with the University's commitment to architecture and design.
- k) *Petitions*
- Northcourt Avenue Residents' Association have submitted a petition containing 451 signatures on the grounds of overdevelopment of the site; the impact on local infrastructure (noise, litter, local transport and services); traffic & parking; and insensitive relationship to historic buildings.
- l) *Comments on revised drawings*
- 5 representations have been received at the time of writing. They are summarised as follows. Additional comments will be reported and addressed in an Update Report.
- The proposal now submitted is still non-compliant with RBC's Planning Policy in so many ways. These have been highlighted previously by local

residents and I will not repeat them. I am astonished that you are even entertaining this late “tinkering around the edges” with which the Developer appears to be indulging.

- Concerns remain over number of students, emergency access, litter, bad behaviour of students.
- First floor windows of Block I would overlook the bedroom of 20 Northcourt Avenue
- Block I would overlook gardens of 2 and 3 Sherfield Drive.
- It is a pity Block I cannot be designed to fit more comfortably across the contours of the site instead of excavating. Concerns over stability of boundary with 20 Northcourt Avenue and possible damp problems from ground water.
- The committee date should be deferred to March to allow the changes to be better considered.

5. LEGAL AND PLANNING POLICY CONTEXT

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.

5.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special interest which it possesses.

5.3 National
National Planning Policy Framework
National Planning Practice Guidance

5.4 Reading Borough Local Development Framework:
Core Strategy (2008) (Altered 2015)

CS1	Sustainable Construction and Design
CS2	Waste Minimisation
CS3	Social Inclusion and Diversity
CS4	Accessibility and Intensity of Development
CS5	Inclusive Access
CS7	Design and the Public Realm
CS9	Infrastructure, Services, Resources and Amenities
CS10	Location of Employment Development
CS12	Maintaining a Variety of Premises
CS13	Impact of Employment Development
CS14	Provision of Housing
CS15	Location, Accessibility, Density and Housing Mix
CS20	Implementation of Reading Transport Strategy
CS22	Transport Assessments
CS23	Sustainable Travel and Travel Plans
CS24	Car/Cycle Parking
CS28	Loss of Open Space
CS29	Provision of Open Space
CS30	Access to Open Space
CS32	Impacts on Community Facilities
CS33	Protection and Enhancement of the Historic Environment
CS34	Pollution and Water Resources
CS36	Biodiversity and Geology

CS38 Trees, Hedges and Woodlands

5.5 *Sites and Detailed Policies Document (2012) (Altered 2015)*

SD1	Presumption in Favour of Sustainable Development
DM1	Adaption to Climate Change
DM2	Decentralised Energy
DM3	Infrastructure Planning
DM4	Safeguarding Amenity
DM12	Access, Traffic and Highway-related Matters
DM16	Provision of Open Space
DM17	Green Network
DM18	Tree Planting
DM19	Air Quality

5.6 Supplementary Planning Documents

Sustainable Design and Construction (2011)
Revised Parking Standards and Design (2011)
Employment Skills and Training (2013)
Planning Obligations under S106 SPD (2015)

6. APPRAISAL

i) Principle of Use

6.1 The principle of the use of the site for halls of residence is well established and the site already accommodates over 1000 students. There is no particular general policy objection to this being increased, subject to site-specific constraints.

6.2 Emerging policy relates to this site, in the form of Draft Policy ER1e of the Pre-Submission Draft Reading Borough Local Plan (2017). Although of limited weight currently, this policy supports the general principle of additional student accommodation within the site. The current proposal exceeds the upper limit of the guideline amount of development set out in the draft policy (net gain of approximately 450-500 bedspaces). With regard to these figures, it is important to note that the draft policy is qualified by paragraph 9.3.2 of the Draft Local Plan, which explains that *“Where dwelling or floorspace figures are included alongside the allocations, these are intended as a guide, and usually reflect an indicative maximum capacity. They are based on an initial assessment taking into account the characteristics of each site. However, the capacity of sites will ultimately depend on various factors that need to be addressed at application stage, including detailed design and layout.”* It is apparent that this draft policy does not necessarily prevent a greater number of bedspaces being provided within the site. If it did, it should be remembered that this is not current development plan policy and should be given limited weight in determining the application.

6.3 The submitted Demand and Impact Assessment identifies a need for additional accommodation to serve the University. Draft Policy H12 (whilst currently of limited weight) seeks to steer this to, or adjacent to, existing University locations and is an indicator of the Council’s future approach.

6.4 Based on the context described above it is considered that the St Patrick’s site is an appropriate location for additional student accommodation.

ii) Heritage

6.5 National Planning Practice Guidance advises that in most cases the assessment of the significance of the heritage asset by the local planning authority is likely to need expert advice in addition to the information provided by the historic environment record, similar sources of information and inspection of the asset

itself. Advice may be sought from appropriately qualified staff and experienced in-house experts or professional consultants, complemented as appropriate by consultation with National Amenity Societies and other statutory consultees. (NPPG Paragraph: 010 Reference ID: 18a-010-20140306). In line with this advice, the following assessment is based closely on the advice of the Council's Historic Buildings Consultant (HBC), having due regard to the advice of the Victorian Society (a national amenity society) as well as all other material considerations.

Whitley Park Farmhouse

- 6.6 The applicant's revised heritage statement describes Grade II Listed Whitley Park Farmhouse as follows:

"The Farmhouse dates from the late 18th or early 19th century. It is a two-storey, red brick building with grey brick headers and red brick quoins dressings. It has a hipped slate roof with a small, centrally placed dormer, and a central chimney. The doorway is centrally positioned on the eastern elevation and is set within a Roman Doric pedimented porch. The windows are timber casements (see Figure 1 below). The building has an attractive, fairly symmetrical, principal elevation. The List Entry Description mentions an early-mid 19th century barn on saddlestones located to the immediate north-east of the Farmhouse but this was not present when the site was visited, there was, however, a single-storey, lean-to side extension on the north elevation of the Farmhouse and a single-storey, flat roofed outbuilding also located to the immediate north of the Farmhouse. Despite the changes to the building, it is still recognisable as a traditional farmhouse. The building is currently used for student accommodation... Whitley Park Farmhouse is of high heritage significance primarily for its aesthetic (architectural interest) and historical values (historic interest) as an example of a traditional and historic farmhouse. It may also be of some communal value for former and existing University of Reading staff and students who may have lived or used the building... This is reflected in its designated status as a grade II Listed Building." (para 5.2.2.1)

- 6.7 The Historic England website sets out the legal context in respect of listed buildings as follows:

"When making a decision on all listed building consent applications or any decision on a planning application for development that affects a listed building or its setting, a local planning authority must have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Preservation in this context means not harming the interest in the building, as opposed to keeping it utterly unchanged.

This obligation, found in sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, applies to all decisions concerning listed buildings.

The recent Court of Appeal decision in the case of Barnwell vs East Northamptonshire DC 2014 made it clear that in enacting section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 Parliament's intention was that 'decision makers should give "considerable importance and weight" to the desirability of preserving the setting of listed buildings' when carrying out the balancing exercise'.

Decision-making policies in the NPPF and in the local development plan are also to be applied, but they cannot directly conflict with or avoid the obligatory consideration in these statutory provisions."

- 6.8 The submitted heritage report identifies that views from the front of the listed building could be affected by the proposed new buildings, particularly those on the site of the existing New Court, although existing trees and buildings will screen much of the development. The Council's Historic Buildings Consultant advises that the setting of Whitley Park Farmhouse comprises views to the northeast towards Benyon Hall and views beyond, east towards Pearson's Court.
- 6.9 The submitted heritage assessment rightly notes that the original and historic setting of the farmhouse has changed considerably and the farmland associated with this former farmhouse has been lost and notes that:
- "Existing views of modern, university buildings detract from the historic setting of the Farmhouse to some degree by urbanising its context and as such, the wider setting of this Listed Building is considered to make a slight negative contribution to its overall significance (aesthetic and historical values/special architectural and historic interest). However, the largely open, immediate setting of the Farmhouse, together with historic pond and trees, make a positive contribution to the significance of the former Farmhouse (historic and aesthetic values). Due to its open and green character, this immediate setting provides something of a physical reminder of the building's original function as a Farmhouse and of its original and historic, predominantly rural context both in views out from and views of this Listed Building. The immediate front setting also provides space with which to appreciate the Listed Building's principal architectural elevation within and against an apparently rural backdrop. While this immediate setting is of increased importance, given that all of the Farmhouse's associated farmland has been developed, the positive aspects of the Farmhouse's immediate setting can only be considered to make a low positive contribution to its overall significance/special interest, which lies predominantly in the architectural and historic interest of the Listed Building itself."*
- 6.10 With regard to this assessment, it is considered that the proposed changes, the increased scale of the new buildings, and changes in the style of architecture would occur beyond the immediate setting of the listed building and would not harm this setting due to the distances involved, the way in which the farm setting of the farmhouse has already been lost to a great extent, and the existing modern buildings which already influence and detract from the setting to a greater degree. The intervening tree screen also reduces visual effects to a degree, although the long term survival of trees should not be relied upon.
- 6.11 The Council's Historic Buildings Consultant (HBC) advises that the setting of Whitley Park is currently affected by the modern Benyon Hall JCR building and modern campus buildings to the east. The proposed demolition and replacement of these buildings with further campus blocks up to six storeys in height has been assessed by the applicant's heritage consultant as resulting in negligible harm to its setting, which equates to a less than substantial harm to the setting within the definition of the NPPF. The HBC concludes that the proposed new development would have negligible effect on the setting which is now largely limited to its immediate surroundings and which is currently affected by the modern campus buildings to the east. It follows that the impact would be reduced by the revised proposal with blocks reduced to five storeys.
- 6.12 For these reasons it is considered that the setting of the listed farmhouse would be preserved, in accordance with statutory requirements, national planning policy and Policy CS33.

Pearson's Court

6.13 Pearson's Court was added to Reading's List of Locally important Buildings and Structures 'Local List' on 20 October 2016 based on the advice of the Council's Historic Buildings Consultant and in accordance with the criteria set out on page 62 of the Sites and Detailed Policies Document 2012 (altered 2015).

6.14 Historic England Advice Note 7 Local Heritage Listing (2016) states:

"Local lists play an essential role in building and reinforcing a sense of local character and distinctiveness in the historic environment, as part of the wider range of designation. They enable the significance of any building or site on the list (in its own right and as a contributor to the local planning authority's wider strategic planning objectives), to be better taken into account in planning applications affecting the building or site or its setting."

6.15 The Advice Note continues:

"In deciding applications for planning permission that affect a locally listed heritage asset or its setting, the NPPF requires, amongst other things, both that local planning authorities should take into account the desirability of sustaining and enhancing the significance of such heritage assets and of putting them to viable uses consistent with their conservation and the consideration of the positive contribution that conserving such heritage assets can make to sustainable communities including their economic vitality (NPPF paragraphs 126 and 121). Whilst local listing provides no additional planning controls, the fact that a building or site is on a local list means that its conservation as a heritage asset is an objective of the NPPF and a material consideration when determining the outcome of a planning application (NPPF, paragraph 17)."

6.16 The reasons given by the Council for locally listing Pearson's Court, in reference to the SDPD criteria and on the advice of the Council's Historic Buildings Consultant are as follows:

"In summary Pearson's Court:

- *has a well authenticated historical association with a notable person(s) or event;*
- *has a prolonged and direct association with figures or events of local interest;*
- *has played an influential role in the development of an area or the life of one of Reading's communities;*
- *is representative of a style that is characteristic of Reading;*
- *is the work of a notable local architect;*
- *form a group which as a whole has a unified architectural or historic value to the local area;*
- *to some extent has a prominence and a landmark quality that adds to the sense of place of a particular locality.*

Reasoning

1. *Pearson's Court dates from 1913 and is considered to be substantially complete and unaltered and of definite significance under criteria under the 'Selection for the Local List' b) of the Reading Borough Council primary local listing criteria.*
2. *As detailed in the WYG Local Listing Assessment submitted under application 161182/FUL (WYG, 2016), Pearson's Court is also considered to satisfy the following secondary criteria:*
 - *Historic Interest:*

- a) *Historical Associations (a) under sub-criteria (a)(i) and (ii) with R L Pearson, Charles Steward Smith of local architects C. Smith & Son and potential the author of the 'Biggles' books, William Earl Johns and as one of three sites used to accommodate Royal Flying Corps cadets attending the School of Instruction and the No. 1 School of Military Aeronautics during WWI;*
- b) *Social Importance (b) under sub-criterion as the second oldest, surviving, purpose-built hall of residence still in use in Reading University;*
 - *Architectural Interest*
 - a) *Sense of Place (a)(i) as its style characteristic of historic parts of the University of Reading; and*
 - b) *Innovation and Virtuosity (b) is met under sub-criterion (ii) as the work of notable local architect/architectural practice, Charles Steward Smith (1858-1923), of C. Smith and Son who was the first president of the Reading Society of Architects.*
 - *Group Value (c) under sub-criterion (i) as the quadrangle of Pearson's Court has an architectural unity.*
 - *Townscape Value criterion is partly met as the building has localised townscape value."*

6.17 Paragraph 9.1.25 of the Sites and Detailed Policies Document 2012 (altered 2015) states that:

"The LPA will establish a list of 'Locally important Buildings and Structures'. Where a building or structure merits designation as a locally important heritage asset, it would be recorded as such by adding it to this list, which will form part of Reading's Historic Environment Record. The asset would then be conserved and where appropriate enhanced in accordance with Policy CS33 of the Core Strategy and national planning policy..."

- Policy CS33 of the Core Strategy states that:

"Historic features and areas of historic importance and other elements of the historic environment, including their settings, will be protected and where appropriate enhanced. This will include... Other features with local or national designation... Planning permission will only be granted where development has no adverse impact on historic assets and their settings..."

- Paragraph 135 of the NPPF states:

"The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset."

6.18 The Sites and Detailed Policies Document states that following local listing, the asset should be conserved in accordance with CS33.

6.19 The proposed new blocks of accommodation to the north of Pearson's Court replace existing three storey buildings, and also the unattractive 1960s catering block currently attached to the northern façade, which currently form part of the setting of Pearson's Court. The new blocks would be substantially larger and closer to Pearson's Court due to their height and massing, particularly Block A which rises to 5 storeys at a distance of approximately 24.5 metres from the north façade of Pearson's Court.

- 6.20 The proposals would retain the existing northern, western and eastern ranges of Pearson's Court unchanged (except for removal of the catering block) and integrate them within the scheme as a whole. The open grassed area to the front (north east) of Pearson's Court is to be retained and this is considered to be an important part of its setting viewed from the street.
- 6.21 Pearson's Court currently has more limited setting to the north-west as this is affected by the catering block and New Court buildings. The setting to the north would change significantly as part of the proposals and the five storey scale of Block A would appear as somewhat stark in relation to Pearson's Court. However it is considered that this is outweighed to some extent by the removal of the catering block which would better reveal the character of the north-west façade of Pearson's Court and the improved landscaping. It is also important to note that protection of the setting of a locally listed building is not a statutory requirement and does not carry the same weight in planning terms as would the case if the building were statutorily listed.
- 6.22 The SETS building was constructed later (1927) and although included in the local listing for completeness, it does not have the same degree of heritage significance as the older northern, western and eastern ranges.
- 6.23 The new townhouses (Block H) at the junction of Sherfield Drive and Northcourt Avenue would affect views across the open space towards the eastern range of Pearson's Court. This arrangement would alter the setting to a degree however the 2½ storey scale is not considered to be excessive and the building would sit to one side of the north east façade and allow views to remain across the open space from the east and importantly from the main pedestrian entrance adjacent to Chedworth House.
- 6.24 The new CHP building is not considered to be harmful to the setting of Pearson's Court due to its relatively low height and position off to one side when viewed from Northcourt Avenue. The building would not harm the experience of the locally listed building from within the site, or more widely when viewed from the street.
- 6.25 The Council's Historic Buildings Consultant advises as follows:
"Crucially, the demolition of the original Pearson's Court building is no longer proposed. The later developed Sets building to the south of Pearson's Courtyard is proposed to be replaced with new, four storey accommodation with a mansard roof for the replacement Sets building. The proposed replacement building will form a termination to the Pearson's Court range, but would not be attached to it.
- The design achieves the requirement of retaining the locally listed Pearson's Court within the development incorporating its original function as a hall of residence. Incorporating the hall into the proposed scheme would give it a new renewed function and retain it in its historic, sustainable use and secure the conservation of the non-designated heritage asset, which is a heritage benefit.*
- The proposed new four storey building proposed to replace the SETS building is of a similar height and scale to Pearson's court and, being separated from it, is not considered to harm its setting. The proposed brick construction and mansard roof would complement the design of Pearson's court."*
- 6.26 It is therefore considered that the retention of the most significant parts of the Pearson's Court together with the grassed area to the east, the removal of the catering block and provision of new hard and soft landscaping would, on balance,

result in an appropriate setting for the locally listed building; the key heritage benefit being the retention of the locally listed building.

6.27 On the basis of the above assessment, the proposals are considered to comply with national planning policy in the NPPF and associated guidance, Policy CS33 of the Core Strategy and guidance on locally listed buildings in the Sites and Detailed Policies Document.

iii) Transport

6.28 The detailed comments of the Council's Transport section are set out in section 4 above. These are considered to be a reasonable assessment of the proposals and it is recommended that the application should be considered on the basis of these comments. The contribution towards the pedestrian crossing is considered to be necessary to make the development acceptable, directly related to the development and fairly and reasonably related in scale and kind to the development. It therefore passes the tests in Regulation 122 of the CIL Regulations.

6.29 It is proposed to secure the submitted Student Management Plan within the S106 agreement. This makes reference to the Student Residence Agreement. This tenancy agreement prohibits student occupiers from bringing cars to site or within 1 mile of the University.

A car parking management plan is proposed to be secured by condition and would provide further controls, particularly at peak times such as when new student occupiers move into rooms. It is proposed that this should include an annual review requirement to allow for refinements to address unforeseen problems.

6.30 On the basis of Transport advice received it is considered that the proposals, as managed by the mitigation measures proposed in the recommended S106 and conditions would comply with Development Plan Policies CS20, CS22, CS24 and DM12 and the guidance set out in the Council's Revised Parking Standards and Design SPD 2011.

iv) Character and Scale

6.31 It is considered that the existing site has a distinct campus character compared to the remainder of Northcourt Avenue. Pearson's Court has a restrained, good quality institutional character which is enhanced significantly by the open space to the front. Beyond the formal quadrangle arrangement of Pearson's Court, the site, takes on a more relaxed campus feel, with less visual reference to the mature suburban housing in the surrounding streets.

SETS

6.32 The proposed SETS block would replace the southern range of Pearson's Court and would be the main change to the existing Pearson's Court complex. The increase in scale is significant compared with the building it would replace. However it is considered that it would appropriately reflect the scale of the remainder of Pearson's Court and would not appear overly obtrusive when viewed from within the site, or from Northcourt Avenue. The Mansard roof would add to the apparent bulk of the building but it is considered that this would be adequately mitigated by the distance from the road, and the amount of open space around the building, including Sherfield Drive, the gap between the building and the remainder of Pearson's Court, and the open space to the front of Pearson's Court.

New Court

- 6.33 Taken as a whole - Blocks A,B,C,D,E,F, and G would entirely replace the existing 1960s New Court complex. The proposals would form a substantial mass of built form that would be a distinct change from the current, relatively modest New Court buildings. The applicant has submitted revised drawings showing Blocks A and B reduced by one storey, to five storeys which would reduce the overall mass to a degree (an approximately 2.5 metre reduction in height from 20 metres to 17.5 metres at the highest point of Block A (southeast elevation).
- 6.34 Blocks E, F and G would replace the eastern side of New Court. These would be a four storey scale and would be sited closer to Northcourt Avenue than the current buildings and would extend significantly further on a Northwest-Southeast axis. It is considered that the set-back from Northcourt Avenue would acceptably mitigate the visual effects of this building, the height of which would be broadly level with the cupola on the Pearson's Court clock tower. The screening provided by the existing University-owned Edwardian buildings 14, 16 and 18 Northcourt Avenue which front the street would add a degree of screening and views of these blocks would be limited to a large extent to glimpses between these buildings and through tree canopies. It is considered that the four storey height, footprint and massing of these blocks would be acceptable within this context.
- 6.35 Towards the rear of the proposed site, Blocks A, B, C and D would rise to five storeys with Block A being taller than Block B,C and D due to a commercial floor to ceiling height at ground floor (serving a proposed café, reception area, manager's office and launderette). This five storey scale of Block A (arguably 5½ storey) would begin at a point approximately 84 metres back from the Northcourt Avenue boundary of the site, with the end of Block D sited 70 metres from Northcourt Avenue. It is apparent that this scale would be unacceptable if it were immediately adjacent to Northcourt Avenue which is characterised by a distinctly modest, domestic, scale of development. The degree to which it is acceptable therefore depends to a great extent on the different, separate, campus character of the St Patrick's site, the distance from the street and the mitigating effects of open space within the site and any intervening screening which might be expected to remain.
- 6.36 As referred to above, the St Patrick's site is considered to have a distinct campus character with the main visual relationship to Northcourt Avenue being the eastern façade of Pearson's Court and the open space to the front with more limited views of land to the northern, western and south western ends of the site. The retention of Pearson's Court and associated open space results in a relatively spacious setting to the site as a whole being presented to the street. It is considered that this spaciousness would provide some compensation for, and relief from, the visual impact of the substantial mass of building proposed to the north. In terms of screening, whilst the 4 and 5 storey blocks cannot be completely screened by lower buildings, it is considered that direct views from the street would be disrupted by Chedworth House, 16 Northcourt and Crooksbury House as well as the new townhouses proposed at the south east corner of the site (Block H). Views from the street in Northcourt Avenue (and to some extent from within the site) would also be broken by new and existing tree planting. It is considered that the factors described above, when combined with the set-back distance from the street, would sufficiently limit the visual impact of the substantial mass of building proposed at Blocks A to G and would not result in harm to the character of Northcourt Avenue, or the surrounding area.
- 6.37 The proposed townhouses, Block H, would be sited on the existing car park area fronting Sherfield Drive. This would have a 2½ storey scale with steeply pitched roof and dormers accommodating a third floor of accommodation. It is

considered that this scale would be appropriate given the larger houses that exist on the western side of Northcourt Avenue together with the set back from the road and the end-on arrangement to the road, in effect forming a terrace fronting Sherfield Drive.

- 6.38 Block I on the southern boundary would replace a two storey pitched roof buildings in a similar position. The design has been revised to a two storey residential block with lowered ground floor level. The design is somewhat contrived in appearance with the blank rear wall and sunken floor levels however it is considered that this block would not be readily visible from outside the site and would not contribute significantly to the overall mass of the development.
- 6.39 Block J to the south west corner of the site is proposed as a four storey L-shaped block of residential accommodation with the southern wing stepping down to follow the surrounding land levels. Glimpses of this block would be visible from Northcourt Avenue, along Sherfield Drive and also from surrounding houses, however the block is set well within the site and it is considered that it would not appear overly obtrusive when viewed from the public realm.
- 6.40 Proposed Block K would be sited at the western end of the pedestrian route leading from Northcourt Avenue and between Pearson's Court and Blocks A and G. It comprises 'The Hub' cafe and bar at ground floor with three floors of residential accommodation above projecting in three wings outwards from a central core. It is considered that the unusual form gives the building visual interest and it would sit comfortably in its location which is well-within the campus environment.
- 6.41 Block L would be adjacent to existing buildings at Creighton Court. The four storey scale would be taller than the existing adjacent buildings by about a storey. The new block would be sited further from the road than Creighton Court and would be viewed within the context of the four and five storey blocks adjacent (C, D and E). It is considered that the block would be sufficiently distant from Northcourt Avenue and would be screened to a great extent by Creighton Court to the east and the new blocks to the south. The scale would not appear excessive in this context.
- 6.42 The RSL building is an existing relatively small single storey building currently which currently serves as the site office and staff common room. It is proposed that this will be changed to storage, workshop and staff rest facilities as the reception is proposed to move to Block A.
- 6.43 The proposed CHP plant building would sit to the rear of Chedworth House. The building would have a functional appearance and a large footprint for an ancillary building. However it is considered that the building would be reasonably well screened from Northcourt Avenue by Chedworth House and existing vegetation. The proposed landscaping would also serve to soften the visual effects of the building. On this basis it is considered that the building would not appear overly obtrusive when viewed from the street or viewed from within the site in the context of the development as a whole.
- v) **Appearance (detailing)**
- 6.44 The retained Pearson's Court will continue to strongly influence the appearance of the site as a whole when viewed from Northcourt Avenue due to its prominent position in the site. Its high quality of materials and detailing would serve to maintain local distinctiveness and assist in softening the effect of the new blocks and integrating them into the site. The proposals are therefore considered to be a far more visually sensitive approach to developing the site compared with the previous, withdrawn proposal.

- 6.45 The proposed new buildings would be predominantly finished in brick, which is considered to be characteristic of the site and wider area in general. Two types are proposed, a deeper red brick that responds to Pearson's Court and a red/orange blend which references other older buildings in the area. It is recommended that details and sample panels of the precise bricks, the bond, and mortar are secured by condition. Panels of more textured feature brickwork are proposed to some flank walls to add interest, for example the northwest elevation of Block E.
- 6.46 Windows are proposed to be aluminium framed and the frame arrangement, a composite of a number of panes, allows for large window openings which add visual interest and avoid excessive expanses of brickwork.
- 6.47 The roof of Block H, the townhouses adjacent to Northcourt Avenue would have a traditional tiled roof, which is considered appropriate for its setting. The mansard roof to the SETS block would be finished in a grey standing seam roofing material, which is considered reasonable for the type of roof. The other roofs within the development would be flat with a roofing membrane concealed from view by a parapet design.
- 6.48 The overall approach to the new buildings is considered appropriate with a generally acceptable quality of detailing, vertical emphasis and articulation within the building facades to ensure that the new buildings integrate effectively within the existing campus setting. This includes an appropriate appearance within the setting of the listed farmhouse and locally listed Pearson's Court buildings and when viewed from the street. The appearance and detailing of the proposals are therefore considered to be in accordance with Policies CS7 and CS33.

vi) Neighbouring Amenity

Block I

- 6.49 The majority of neighbouring buildings adjoining the site are in University ownership and in use as student accommodation, or university support functions. It is considered that the proposals are compatible with these in terms of any overbearing effects or impact on privacy.
- 6.50 Block I would have some impact on the privacy of 3 Sherfield Drive due to upper floor windows facing towards the garden at a distance of 7.5 metres. However the impact would be mitigated to a great extent by the sunken nature of the revised building design, which would be less than two storeys in height relative to this neighbouring house. In addition, 3 Sherfield Drive is within the application site and the occupancy and use of 3 Sherfield Drive building is under the control of the University. It is bound up with the use of the wider campus site as a whole. On this basis it is considered that the proposal would not be harmful to the amenity of future occupiers.
- 6.51 24 Northcourt Avenue is a relatively new dwelling approved under permission ref. 080834 (08/00738/FUL) which is located in a backland location to the rear of 24a Northcourt Avenue. Block I was initially proposed as a three storey block orientated on a southwest-northeast axis with bedroom windows facing southeast towards the garden boundary of number 24. This was considered harmful to the amenity of the neighbour and officers advised that a revised design was required.
- 6.52 The applicant has submitted a revised design reduced to two storeys of accommodation with no windows facing southeast and the ground floor level set

at 67.45 metres above datum, which is lower than the ground levels of around 68.8m which currently surround the existing building at 4 Sherfield Drive (to be demolished) and is similar to ground levels at the lower end of the existing car park at the southwest corner of the application site. The building would sit approximately 8 metres from the boundary with number 24 Northcourt Avenue at the closest point, increasing to 9 and then 12 metres within the recessed sections of the rear façade. Windows are proposed in the northeast end of the building. Some views towards the rear of 24 Northcourt Avenue would be possible from these however the views would be at an angle, from a relatively low floor height (due to the sunken two-storey design, and would be at a distance of approximately 29 metres to the rear of the neighbouring house (in excess of the 20 metres set out in Policy DM4. Privacy fins are proposed to the upper floor windows in the northeast facade which would further reduce views towards the neighbour (these can be secured by condition). The two windows shown in the southeast elevation are specifically designed to limit views towards the northeast and southwest and would have limited impact on the privacy of 24 Northcourt Avenue, especially when the low height of the building is taken into consideration. The concerns expressed by neighbours regarding the privacy impacts of the revised design are noted; however the revised proposal is considered to be acceptable for the reasons set out above.

- 6.53 It is considered that the significant reduction in scale of the revised design would prevent an overbearing effect on the house or garden at 24 Northcourt Avenue. Direct sunlight would be largely unaffected due to the relatively low height and the position to the north and north west of the neighbouring garden. The building would not be of a scale or siting which would cause harmful loss of daylight.
- 6.54 Detailed landscaping proposals show 5 semi-mature Norway Maple trees (4 metre minimum height at planting) set on top of the embankment to be formed adjacent to the boundary with 24 Northcourt Avenue. These would provide some screening to the proposal which would soften its appearance and improve privacy to the neighbour. A condition securing this before first occupation of Block I is recommended.
- 6.55 The neighbour comments in respect of retaining structures surrounding Block I, land stability and drainage are noted. It is considered reasonable to require additional detail of the structure, land stabilisation measures (where required), and measures to deal with groundwater to be submitted, to be secured by condition.
- 6.56 The revised Block I would not harm the amenity of other neighbours due to its minimal scale and the distances involved.

Privacy and Overbearing Effects Elsewhere

- 6.57 The new 2 ½ storey townhouses at Block H and the four storey SETS block would be 44 metres and 52 metres from the western boundary of 24a Northcourt Avenue respectively. Policy DM4 seeks a minimum distance of 20 metres and it is therefore considered that the proposed arrangement is sufficient to prevent harmful overlooking or overbearing effects. The University-owned building at 22 Northcourt Avenue lies between and provides an additional degree of separation.
- 6.58 Houses to the east side of Northcourt Avenue would lie across the street and would be a considerable distance from the main new buildings proposed. Block H would be closer (31 metres), but would be positioned end-on and could reasonably be described as a typical relationship between residential properties across the street. The proposal would not result in a harmful overbearing effect on these neighbours. Direct overlooking would largely be prevented by the orientation of the building, although views across the public realm at a distance

of 31 metres would not be harmful and the two windows within the north east flank elevation are considered to be acceptable for this reason.

- 6.59 All other blocks within the development are considered to be sufficiently distant from neighbouring dwellings to prevent harmful overlooking, or overbearing effects.

Daylight / Sunlight

- 6.60 It is considered that the buildings, due to their scale, orientation and arrangement would be sufficiently distant from non-university owned neighbouring properties to avoid harmful loss of ambient daylight.

- 6.61 Concerns regarding the effect on longer distance sunlight received have been raised by neighbouring residents. This would mainly affect properties to the eastern side of Northcourt Avenue, although some late afternoon sun to 24 and 24a Northcourt may also be affected. In all cases, existing trees already interrupt low angled sunshine to a degree. It is also reasonable to expect changes to longer range views of the sun as it sets low in the sky in an urban environment such as this. It is considered that the proposals would not affect daylight or sunlight to the extent that the amenity of neighbours is harmed.

Lighting

- 6.62 External lighting has the potential to cause glare which could affect the amenity of neighbours. An indicative lighting proposal has been submitted, which is acceptable in general terms. It is recommended that precise details of all external lighting should be secured by condition to ensure that it does not cause light pollution to neighbours, or the wider area (this is also required for environmental and ecological reasons).

Student behaviour

- 6.63 Concerns over student behaviour have been held to be a material consideration in a number of planning appeal cases. However the extent to which concerns should restrict planning permission depends on the circumstances of the case and is often held to be of greater importance where a site is not currently in use for student accommodation. In the case of the current application the wider site accessed from Northcourt Avenue already houses a large number of students (1081). The proposed increase in numbers is significant, a net increase of 654, resulting in a total student population within the wider Northcourt Avenue site of 1735. However this increase is not in itself a definite indicator of harm in terms of noise and disturbance. An important factor will be the degree of oversight and management of the site that will take place once occupied.

- 6.64 The proposals include a student management plan, which sets out the proposed management of the site, the provisions for security and monitoring, arrangements for community liaison and details of how the behaviour of student occupiers will be managed.

- 6.65 In the absence of clear evidence to suggest a particular problem with the existing number of students on site, it is considered that the management plan approach is acceptable, provided that the management plan is secured under a S106 legal agreement.

Plant and vehicle noise

- 6.66 Based on the advice of the Council's Environmental Protection section (see Section 4 above), it is considered that the location of the proposed Combined Heat and Power (CHP) plant would be acceptable in noise and air pollution terms, subject to a final noise assessment to be secured by condition once the precise equipment is known.

- 6.67 Other plant proposed would be within buildings, or at roof level on the larger blocks and therefore further from neighbouring properties.
- 6.68 In all cases it is recommended that precise acoustic details should be secured by a condition requiring a BS4142 noise assessment to be submitted, including details of any mitigation found to be necessary.
- 6.69 The proposed Hub building would include catering facilities, a bar and a focus for social activities within the site. It is considered reasonable for a site of this size to include such a facility and the size and nature of what is proposed is considered to be of an appropriate size, i.e. sufficient to meet the needs of occupiers of the site, but not so large as to be likely to attract a large number of additional students from beyond the site. The siting of the Hub, towards the rear of the site and away from boundaries with non-student neighbours would minimise the potential for disturbance. The proposed student management plan includes security and nuisance reporting procedures. Any serious noise and disturbance or anti-social behaviour, over and above that which could reasonably be foreseen at Planning application stage, would fall to be dealt with by Environmental Health or the Police. The student management plan should be secured by S106 agreement (see below) and should include an annual review mechanism to allow improvements based on actual experience, where necessary.
- 6.70 On this basis it is considered that the proposed development would not result in harm to the amenity of neighbours and would be in accordance with Policies DM4, CS15 and CS34.

vii) Amenity of future occupiers

Outdoor Space

- 6.71 The area of lawn to the front of Pearson's Court currently provides the most useful open space in terms of visual amenity and recreational potential. This is to be retained as part of the proposals and is considered appropriate to meet the needs of future occupiers. Other outdoor areas would be provided around the buildings, within the courtyards and within the wider site, including around the pond and to the rear of Sherfield Hall. Substantial sporting opportunities exist a short walk away at the University's SportsPark. It is considered that the open space provision is in accordance with Policies DM4 and CS29.

Daylight and Room Sizes

- 6.72 The submitted daylight study concludes that the assessed bedrooms achieve good average daylight factor and uniformity ratio, with values also being in line with the BREEAM 2014 New Construction Hea 01 Daylighting criteria requirements. Regarding the assessed kitchen/living/dining areas, even though they achieve good practice average daylight factors, the uniformity ratio is not satisfactory due to the deep room plans. However, they comply with the BREEAM 2014 New Construction Hea 01 Daylighting minimum and average daylight illuminance requirements.
- 6.73 It is considered that the proposed bedrooms would receive an appropriate amount of daylight for the nature of the accommodation proposed. It is also considered that the small room sizes are acceptable for student accommodation. This is on the basis that it is reasonable to expect that occupiers would not spend extended periods of the day within these rooms and they exist as part of a wider student accommodation provision. A shared kitchen, living and dining room is proposed for each cluster of rooms. Additional amenity areas exist within the wider site, including the outside spaces and Hub building. It is also reasonable to

expect that occupiers would spend significant periods of time elsewhere on the University's estate. Overall the quality of accommodation is considered appropriate for its intended use, in accordance with Policy DM4. It would not be appropriate for use as Class C3 dwellings however as the nature of the use and access to other amenities would be quite different. This is one of the reasons supporting a restriction on the use of the accommodation to 'student occupiers only' within the S106 agreement.

viii) **Trees and Landscaping**

6.74 The proposals will result in the loss of 68 existing trees to enable the redevelopment to proceed. Overall, based on the advice of the Council's Natural Environment Officer, it is considered that the proposals successfully retain key trees, including the Limes to the Northcourt Avenue frontage and the Hornbeams within the Pearson's Court quad. The retention of these, together with other mature retained trees would integrate effectively within the scheme to maintain a well-landscaped setting.

6.75 The proposed landscaping strategy would provide good quality hard and soft landscaping throughout the site. On the basis of the comments of the Council's Natural Environment Officer set out in section 4 above, it is considered that the proposals would be appropriate, in accordance with Policies CS38 and DM18 on this basis. The need to incorporate ecological considerations are noted. The conditions recommended by the Council's Natural Environment Officer and Ecologist are considered to be reasonable and necessary to secure fully detailed landscaping proposals in accordance with the principles set out in the landscaping details currently submitted.

6.76 Further along Northcourt Avenue to the south, the street is characterised by large trees within the pavement which create an avenue and which contribute significantly to the visual amenity of the street. In recognition of the substantial increase in the scale of development within the site, and the need to integrate it effectively within the wider public realm, the applicant has agreed to fund 4 street trees to be provided within the highway, parallel to the frontage of the site. This is to be secured by S106 agreement.

6.77 It is considered that the landscaping aspects of the proposals are acceptable, in accordance with Policies CS36, CS36 and DM18.

ix) **Ecology**

6.78 The Council's Ecologist has confirmed no objection to the proposals, subject to the conditions detailed within section 4 above. These conditions are considered to be reasonable and necessary to ensure that the proposals provide appropriate ecological protection and mitigation.

6.79 The submitted Ecological Report does not find evidence of Great Crested Newt activity within the pond within the site, which was an initial concern prior to the 2016 application.

6.80 It is considered that the proposals are in accordance with Policy CS36 and DM17 on this basis.

x) **Environmental Sustainability**

6.81 Policy CS1 and supporting Sustainable Construction and Design SPD require major new-build developments to achieve a halfway split between BREEAM Very Good and Excellent, equating to an average of 62.5 BREEAM points. The submitted BREEAM assessment indicates that this will be achieved and conditions securing this are recommended.

- 6.82 A key focus of policies CS1 and the wider sustainability agenda is energy efficiency. Policy DM2 requires consideration to be given to decentralised energy, including CHP. The proposals include a gas-fired CHP plant to provide heating and to contribute towards the power needs of the development. A condition securing this is recommended.
- 6.83 Policy CS2 requires waste from development to be minimised. A waste re-use and recycling strategy is recommended to be secured by condition.
- 6.84 It is considered that the proposal would achieve an acceptable standard of environmental sustainability, within the constraints of the existing site, in accordance with Policies CS1, CS2, DM1 and DM2.
- xi) Drainage
- 6.85 The applicant has submitted a Drainage Strategy to address sustainable drainage requirements. This proposes the use of permeable paving for new internal access roads and paths; French Drains adjacent to paths and under new access roads and use of underground cellular attenuation tanks where required.
- 6.86 The amount of runoff from the site would increase above existing levels as infiltration tests that have been carried out by the applicant indicate that there is limited infiltration capacity within underlying soil and rock strata, as such the *amount* of runoff would be likely to increase with any additional hard surfacing/buildings within the site. The *rate* of discharge is therefore a key consideration. Measures to slow down the rate of surface water flows within the site are incorporated in the design as referred to above and , based on Lead Flood Authority advice, are considered sufficient to ensure that the existing discharge rates, including for a worst-case 1 in 100 rainfall event would not be exceeded.
- 6.87 It is recommended that full specifications and adoption arrangements should be secured by condition. On this basis the proposals are considered to comply with national guidance and Policies CS35 and DM1.
- xii) Water Supply and Foul Drainage
- 6.88 Thames Water have not responded directly to consultation on this application. However the applicant has supplied a letter from Thames Water providing quotes for connection to the fresh water supply, which do not raise any concerns in this regard. Correspondence from Thames Water is also included at Appendix A of the SuDS Drainage Strategy confirming that Thames Water carried out an Impact Study in 2016 and concluded that no upgrade work was required to the foul sewer to accommodate the development. It is considered that adequate provision exists for both fresh and foul water.
- xiii) S106 Matters
- Employment Skills and Training*
- 6.89 The proposal is classified as a Major development. As such the requirements of the Employment Skills and Training SPD (2013) apply.
- 6.90 Whilst an actual plan is encouraged, the SPD does allow for financial contributions to be made in lieu of a plan. The proposed S106 allows for either eventuality.
- 9.91 Using the formulae on pages 11 and 12 of the SPD:
Construction Phase:
 Using the gross floorspace to be constructed the contribution would be: £2,500 x 15,518 / 1000 = £38,795

End User Phase:

9.92 The site will employ staff in the Hub, security and other supporting functions. The applicant has confirmed that the site would employ a Full Time Equivalent of 21 staff. This equates to an 'employment density' of 739 m² per member of staff.

9.93 The employment density figures will be used in the following formula (See page 12 of the SPD):

Floor area proposed (net) (15518) / employment density (739) x 0.5 (target percentage of jobs for Reading residents x 0.30 (percentage without level 2 skills x £1,500 (average cost of training)) = £4,724.70

9.94 The written plan, or alternative payment in lieu, are to be secured by S106 agreement to be provided one month prior to commencement to allow training and recruitment to be arranged. Any financial payments are to be index-linked to account for inflation.

Pedestrian Crossing

9.95 As set out in the Transport comments in section 4, the proposed development will introduce an increase in pedestrian movements between the application site and the University Campus utilising the crossing facility on Shinfield Road, the applicant's should contribute towards the upgrade of this crossing. As a result a contribution of £30,000 is sought towards the upgrade to this junction. Payable prior to first occupation and index-linked.

Tree Planting

9.96 As referred to above, the sum of £6,324 is sought for the provision and ongoing maintenance of 4 street trees on the eastern side of Northcourt Avenue opposite the site. Payable prior to the first available planting season following commencement and index linked. Any surplus monies to be retained for ongoing maintenance of these trees, or additional tree planting within Northcourt Avenue.

Student Management Plan.

9.97 The proposed Student Management Plan should be secured by S106 legal agreement consistent with other similar student schemes in the Borough. It is recommended that this should include a mechanism for annual review and should include requirements to comply with the parking controls set out in the University's Student Residency Agreement.

Use

9.98 Although the use of the site as a student halls of residence would be sui generis and any change of use would require planning permission. It is considered prudent to include a restriction within the S106 agreement preventing use of the student bedrooms and flat accommodation for other residential uses.

Local Wildlife Site Management Plan

9.99 As referred to in the Ecologist comments in section 4.

xiv) Equality

9.100 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, or sexual orientation. It is considered that there is no indication or evidence (including from consultation on the current application) that the protected groups would have different needs, experiences, issues and priorities in relation to this particular planning application.

7. CONCLUSION

- 7.1 Based on an the assessment of the proposals in their revised form, as set out in the report above, it is considered that the proposed development would be acceptable in Planning terms and is recommended for approval, subject to the planning obligations and conditions set out in recommendation at the head of the report.

Case Officer: Steve Vigar

APPENDICES:

1. Information Submitted.
2. Existing and Proposed Bedspace Numbers
3. Drawings

Appendix 1: Information Submitted with the Application:

Drawings - For Approval

StP-WIA-00-GF-DR-A-000003 Rev.B, dated 24 January 2018 - Proposed Site Plan

StP-WIA-00-GF-DR-A-000004 Rev.B, dated 25 January 2018 - Proposed Building Levels Plan

StP-WIA-00-ZZ-DR-A-010300_A Rev.A dated 24 January 2018 - Block AB Sections

StP-WIA-00-ZZ-DR-A-010301_A Rev.A dated 24 January 2018 - Block AB Sections

StP-WIA-00-GF-DR-A-010100_A Rev.A dated 24 January 2018 - Block AB - Ground Floor

StP-WIA-00-01-DR-A-010101_A Rev.A dated 24 January 2018 - Block AB -First Floor

StP-WIA-00-02-DR-A-010102_A Rev.A dated 24 January 2018 - Block AB- Second Floor

StP-WIA-00-03-DR-A-010103_A Rev.A dated 24 January 2018 - Block AB - Third Floor

StP-WIA-00-04-DR-A-010104_A Rev.A dated 24 January 2018 -Block AB -Fourth Floor

StP-WIA-00-06-DR-A-010106_A Rev.A dated 24 January 2018 - Block AB - Roof Plan

StP-WIA-00-ZZ-DR-A-010200_A Rev.A dated 24 January 2018 - Block AB - Elevations

StP-WIA-00-ZZ-DR-A-010201_A Rev.A dated 24 January 2018 - Block AB - Elevations

StP-WIA-00-ZZ-DR-A-020200 dated November 2017 - Block CD Elevations

StP-WIA-00-ZZ-DR-A-020201 dated November 2017 - Block CD Elevations

StP-WIA-00-GF-DR-A-020100 dated November 2017 - Block CD - Ground Floor

StP-WIA-00-01-DR-A-020101 dated November 2017 - Block CD - First Floor

StP-WIA-00-02-DR-A-020102 dated November 2017 - Block CD - Second Floor

StP-WIA-00-03-DR-A-020103 dated November 2017 - Block CD- Third Floor

StP-WIA-00-04-DR-A-020104 dated November 2017 - Block CD - Fourth Floor

StP-WIA-00-05-DR-A-020105 dated November 2017 - Block CD - Roof Plan

StP-WIA-00-ZZ-DR-A-020300 dated November 2017 - Block CD - Sections

StP-WIA-00-ZZ-DR-A-030200 dated November 2017 - Block EFG Elevations

StP-WIA-00-ZZ-DR-A-030201 dated November 2017 - Block EFG Elevations
 StP-WIA-00-ZZ-DR-A-030202 dated November 2017 - Block EFG Elevations
 StP-WIA-00-GF-DR-A-030100 dated November 2017 - Block EFG Ground Floor Core E
 StP-WIA-00-GF-DR-A-030101 dated November 2017 - Block EFG - Ground Floor Core FG
 StP-WIA-00-01-DR-A-030102 dated November 2017 - Block EFG - First Floor Core E
 StP-WIA-00-01-DR-A-030103 dated November 2017 - Block EFG - First Floor Core FG
 StP-WIA-00-02-DR-A-030104 dated November 2017 - Block EFG - Second Floor Core E
 StP-WIA-00-02-DR-A-030105 dated November 2017 - Block EFG - Second Floor Core FG
 StP-WIA-00-03-DR-A-030106 dated November 2017 - Block EFG - Third Floor Core E
 StP-WIA-00-03-DR-A-030107 dated November 2017 - Block EFG - Third Floor Core FG
 StP-WIA-00-04-DR-A-030108 dated November 2017 - Block EFG - Roof Plan Core E
 StP-WIA-00-04-DR-A-030109 dated November 2017 - Block EFG - Roof Plan Core FG
 StP-WIA-00-ZZ-DR-A-030300 dated November 2017 - Block EFG - Sections
 StP-WIA-00-ZZ-DR-A-030301 dated November 2017 - Block EFG - Sections

StP-WIA-00-GF-DR-A-040100 dated November 2017 - Block H - Ground Floor
 StP-WIA-00-01-DR-A-040101 dated November 2017 - Block H - First Floor
 StP-WIA-00-02-DR-A-040102 dated November 2017 - Block H - Second Floor
 StP-WIA-00-03-DR-A-040103 dated November 2017 - Block H - Roof Plan
 StP-WIA-00-ZZ-DR-A-040200 dated November 2017 - Block H Elevations
 StP-WIA-00-ZZ-DR-A-040300 dated November 2017 - Block H Sections

StP-WIA-00-ZZ-DR-A-050300 Rev. B, dated 18 January 2018 - Block I Sections
 StP-WIA-00-ZZ-DR-A-050200 Rev. A, dated 16 January 2018 - Block I Elevations
 StP-WIA-00-GF-DR-A-050100 Rev. A, dated 16 January 2018 - Block I Ground Floor
 StP-WIA-00-01-DR-A-050101 Rev. A, dated 16 January 2018 - Block I First Floor
 StP-WIA-00-02-DR-A-050102 Rev. A, dated 16 January 2018 - Block I Roof Plan
 3025_L_SW_1_01, dated 16 January 2018 - Block I Softworks

StP-WIA-00-GF-DR-A-060100 dated November 2017 - Block J - Ground Floor
 StP-WIA-00-01-DR-A-060101 dated November 2017 - Block J - First Floor
 StP-WIA-00-02-DR-A-060102 dated November 2017 - Block J - Second Floor
 StP-WIA-00-03-DR-A-060103 dated November 2017 - Block J - Third Floor
 StP-WIA-00-04-DR-A-060104 dated November 2017 - Block J - Roof Plan
 StP-WIA-00-ZZ-DR-A-060200 dated November 2017 - Block J Elevations
 StP-WIA-00-ZZ-DR-A-060300 dated November 2017 - Block J Sections

StP-WIA-00-GF-DR-A-070100 dated November 2017 - Block K - Ground Floor
 StP-WIA-00-01-DR-A-070101 dated November 2017 - Block K - First Floor
 StP-WIA-00-02-DR-A-070102 dated November 2017 - Block K - Second Floor
 StP-WIA-00-03-DR-A-070103 dated November 2017 - Block K - Third Floor
 StP-WIA-00-04-DR-A-070104 dated November 2017 - Block K - Roof Plan
 StP-WIA-00-ZZ-DR-A-070200 dated November 2017 - Block K - Elevations
 StP-WIA-00-ZZ-DR-A-070201 dated November 2017 - Block K - Elevations
 StP-WIA-00-ZZ-DR-A-070300 dated November 2017 - Block K - Sections

StP-WIA-00-GF-DR-A-080100 dated November 2017 - Block L - Ground Floor
 StP-WIA-00-01-DR-A-080101 dated November 2017 - Block L - First Floor
 StP-WIA-00-02-DR-A-080102 dated November 2017 - Block L - Second Floor
 StP-WIA-00-03-DR-A-080103 dated November 2017 - Block L - Third Floor
 StP-WIA-00-04-DR-A-080104 dated November 2017 - Block L - Roof Plan
 StP-WIA-00-ZZ-DR-A-080200 dated November 2017 - Block L - Elevations
 StP-WIA-00-ZZ-DR-A-080300 dated November 2017 - Block L - Sections

StP-WIA-00-GF-DR-A-090100 dated November 2017 - Block SETS - Ground Floor
StP-WIA-00-01-DR-A-090101 dated November 2017 - Block SETS - First Floor
StP-WIA-00-02-DR-A-090102 dated November 2017 - Block SETS - Second Floor
StP-WIA-00-03-DR-A-090103 dated November 2017 - Block SETS - Third Floor
StP-WIA-00-04-DR-A-090104 dated November 2017 - Block SETS - Roof Plan
StP-WIA-00-ZZ-DR-A-090200 dated November 2017 - Block SETS - Elevations
StP-WIA-00-ZZ-DR-A-090300 dated November 2017 - Block SETS - Sections

StP-WIA-00-GF-DR-A-100100 dated November 2017 - CHP, Water Tanks, HV/LV -
Ground Floor
StP-WIA-00-01-DR-A-100101 dated November 2017 - CHP, Water Tanks, HV/LV -
Roof Plan
StP-WIA-00-ZZ-DR-A-100200 dated November 2017 - CHP Elevations
StP-WIA-00-ZZ-DR-A-100300 dated November 2017 - CHP Section

StP-WIA-00-GF-DR-A-110100 dated November 2017 - URSL - Proposed Ground Floor
StP-WIA-00-GF-DR-A-110101, dated November 2017 - URSL - Proposed Roof Plan
StP-WIA-00-ZZ-DR-A-110200 dated November 2017 - URSL - Proposed Elevations
StP-WIA-00-ZZ-DR-A-110201 dated November 2017 - URSL - Proposed Elevations
StP-WIA-00-ZZ-DR-A-110300 dated November 2017 - URSL - Proposed Sections
StP-WIA-00-ZZ-DR-A-110301 dated November 2017 - URSL - Proposed Sections

StP-WIA-00-ZZ-DR-A-120203 dated January 2018 - Proposed Elevations - Pearsons

StP-WIA-00-ZZ-DR-A-200300 dated 2 November 2017 Standard Bedroom Strip
Section and Elevations
StP-WIA-00-ZZ-DR-A-200301 dated 2 November 2017 Standard Bedroom Strip
Section and Elevation
StP-WIA-00-ZZ-DR-A-200900 dated November 2017 Standard Bedroom Plan
StP-WIA-00-ZZ-DR-A-200901 dated November 2017 Standard Bedroom Elevations
StP-WIA-00-ZZ-DR-A-200902 dated November 2017 Ensuite Bedroom Plan
StP-WIA-00-ZZ-DR-A-200903 dated November 2017 Ensuite Bedroom Elevations
StP-WIA-00-ZZ-DR-A-200904 dated November 2017 Ensuite Bedroom Elevations
StP-WIA-00-ZZ-DR-A-200905 dated November 2017 Townhouse Bedroom Plan
StP-WIA-00-ZZ-DR-A-200906 dated November 2017 Townhouse Bedroom Elevations
StP-WIA-00-ZZ-DR-A-200907 dated November 2017 Townhouse Bedroom (Corner A)
Plan
StP-WIA-00-ZZ-DR-A-200908 dated November 2017 Townhouse Bedroom (Corner A)
Plan
StP-WIA-00-ZZ-DR-A-200909 dated November 2017 Townhouse Bedroom (Corner A)
Elevations
StP-WIA-00-ZZ-DR-A-200910 dated November 2017 Townhouse Bedroom (Corner B)
Plan
StP-WIA-00-ZZ-DR-A-200911 dated November 2017 Townhouse Bedroom (Corner B)
Elevations
StP-WIA-00-ZZ-DR-A-200912 dated November 2017 Townhouse Bedroom (Corner B)
StP-WIA-00-ZZ-DR-A-200913 dated November 2017 Townhouse Bedroom (Dormer)
Plan
StP-WIA-00-ZZ-DR-A-200914 dated November 2017 Townhouse Bedroom (Dormer)
Elevations
StP-WIA-00-ZZ-DR-A-200915 dated November 2017 Access Standard Bedroom Plan
StP-WIA-00-ZZ-DR-A-200916 dated November 2017 Access Standard Bedroom
Elevations
StP-WIA-00-ZZ-DR-A-200917 dated November 2017 Access Standard Bedroom
Elevations
StP-WIA-00-ZZ-DR-A-200918 dated November 2017 Access Ensuite Bedroom Plan

StP-WIA-00-ZZ-DR-A-200919 dated November 2017 Access Ensuite Bedroom Elevations

StP-WIA-00-ZZ-DR-A-200920 dated November 2017 Access Ensuite Bedroom Elevations

StP-WIA-00-ZZ-DR-A-000018 dated November 2017 - Proposed Site Section AA

StP-WIA-00-ZZ-DR-A-000019 Rev.A dated 24 January 2018 - Proposed Site Section BB

StP-WIA-00-ZZ-DR-A-000020 Rev.A dated 24 January 2018 - Proposed Site Section CC

StP-WIA-00-ZZ-DR-A-000021 Rev.A dated 24 January 2018 - Proposed Site Section DD

StP-WIA-00-ZZ-DR-A-000022 Rev.A dated 24 January 2018 - Proposed Site Section EE

StP-WIA-00-ZZ-DR-A-000024 Rev.A dated 24 January 2018 - Proposed Site Section GG

StP-WIA-00-ZZ-DR-A-000025 Rev.A dated 24 January 2018 - Proposed Site Section HH

StP-WIA-00-ZZ-DR-A-000026, dated November 2017 - Proposed Site Section II

StP-WIA-00-GF-DR-A-000003 Rev.B, dated 24 January 2018 - Proposed Site Plan

StP-WIA-00-GF-DR-A-000004 Rev.A, dated 16 January 2018 - Proposed Building Levels Plan

StP-WIA-00-GF-DR-A-000005 dated November 2017 - Bin Store Floor Plan/Elevations/Section AA

StP-WIA-00-GF-DR-A-000006 dated November 2017 - Bike Store Floor Plan/Elevations/Section AA

StP-WIA-00-GF-DR-A-000007 dated January 2018 - Bike Store Floor Plan/Elevations/Section AA

Topographical Survey DB1639-TOPO Sheet 1of5 dated 10 December 2015

Topographical Survey DB1639-TOPO Sheet 2of5 dated 10 December 2015

Topographical Survey DB1639-TOPO Sheet 3of5 dated 10 December 2015

Topographical Survey DB1639-TOPO Sheet 4of5 dated 10 December 2015

Topographical Survey DB1639-TOPO Sheet 5of5 dated 10 December 2015

3025_L_TP_0_01 rev.02 Tree Retention and Removal Plan dated 25 January 2018

3025_L_PC_0_01 dated 25 January 2018 - Parking and Cycle Provision Plan

Drawings Indicative:

3025_L_GA_1_01, dated 16 January 2018 - Block I Landscape General Arrangement

3025_L_HW_0_01 rev.02 dated 25 January 2018 - Landscape Hardworks

3025_L_SW_0_01 rev.02 dated 25 January 2018 Landscape Softworks

3025_L_GA_0_01 rev.02 dated 25 January 2018 Landscape General Arrangement

3025_L_GA_0_01 Rev. 1 dated 25 January 2018 Illustrative Masterplan

Drainage Strategy Drawing BR1508-CUR-SK-D02 rev F dated 15 December 2017

StP-WIA-00-ZZ-DR-A-201201 dated November 2017 - CGI Images

P0263(60)SK02 Rev. E dated 8 November 2017 - External Lighting LUX Plot Layout

P0263(60)SK02 Rev. B dated 8 November 2017 - External Lighting Layout and CCTV

P0263(50)SK01 Rev.G dated 9 November 2017 - Primary Services Infrastructure Routes

P0263(50)004 Rev. P3 dated 9 November 2017 - Incoming & External Services
Layout

Indicative 3D 'Concept Site Model' received 26 January 2018

Drawings - As Existing

As per planning register: http://planning.reading.gov.uk/fastweb_PL/welcome.asp

Submitted Supporting Documents

Archaeological Desk Based Assessment dated 10 November 2017

Ecological Impact Assessment ver. 06 dated 25 January 2018

Great Crested Newt Report dated 5 July 2016

Flood Risk Assessment ref. BR1508 rev 03 dated 9 November 2017

Acoustic Report ref C13904A/T09/JEE rev. C dated 15 November 2017

Thames Water letter ref. DS4004722 dated 25 November 2015

Student Management Plan, received 20 November 2017

Visual Impact Assessment ref 3025 ver. 03 dated 25 January 2018

Utilities Assessment P0263 rev D dated November 2017

Transport Statement and associated appendices SRD/HB/sjs/lh/JNY9421-01A dated 10
November 2017

Transport Consultation Technical Note JNY9421-03 dated 25 January 2017

Travel Plan SRD/HB/sjs/lh/JNY9421-02 dated 10 November 2017

Sustainable Drainage Systems (Planning Stage Proposals) BR1508/SUDS rev 03 dated 9
November 2017

SuDS Micro Drainage reports dated 15 December 2015

Phase 2 Site Investigation B041466.003/GB/8133 rev.A dated 3 November 2017

Heritage Statement ref. A094496 rev. 7 dated November 2017

Energy Statement P0263 Rev.F dated November 2017

Demand and Impact Assessment of St Patrick's Hall Redevelopment dated November
2017

Outline Daylight Level Analysis Rev D dated November 2017

BREEAM Pre-Assessment dated 20 October 2017

Statement of Community Involvement dated June 2016

Statement of Community Involvement dated November 2017

Planning Statement dated November 2017

Sustainable Design Checklist dated November 2017

Tree Survey CC/1500 AR3552 dated 9 November 2017

CIL Form 2: Claiming Exemption or Relief

Design and Access Statement 0616-PL-DOC-001 dated November 2017

APPENDIX 2 - Existing & Proposed Accommodation - Whole UoR Northcourt Ave- Site

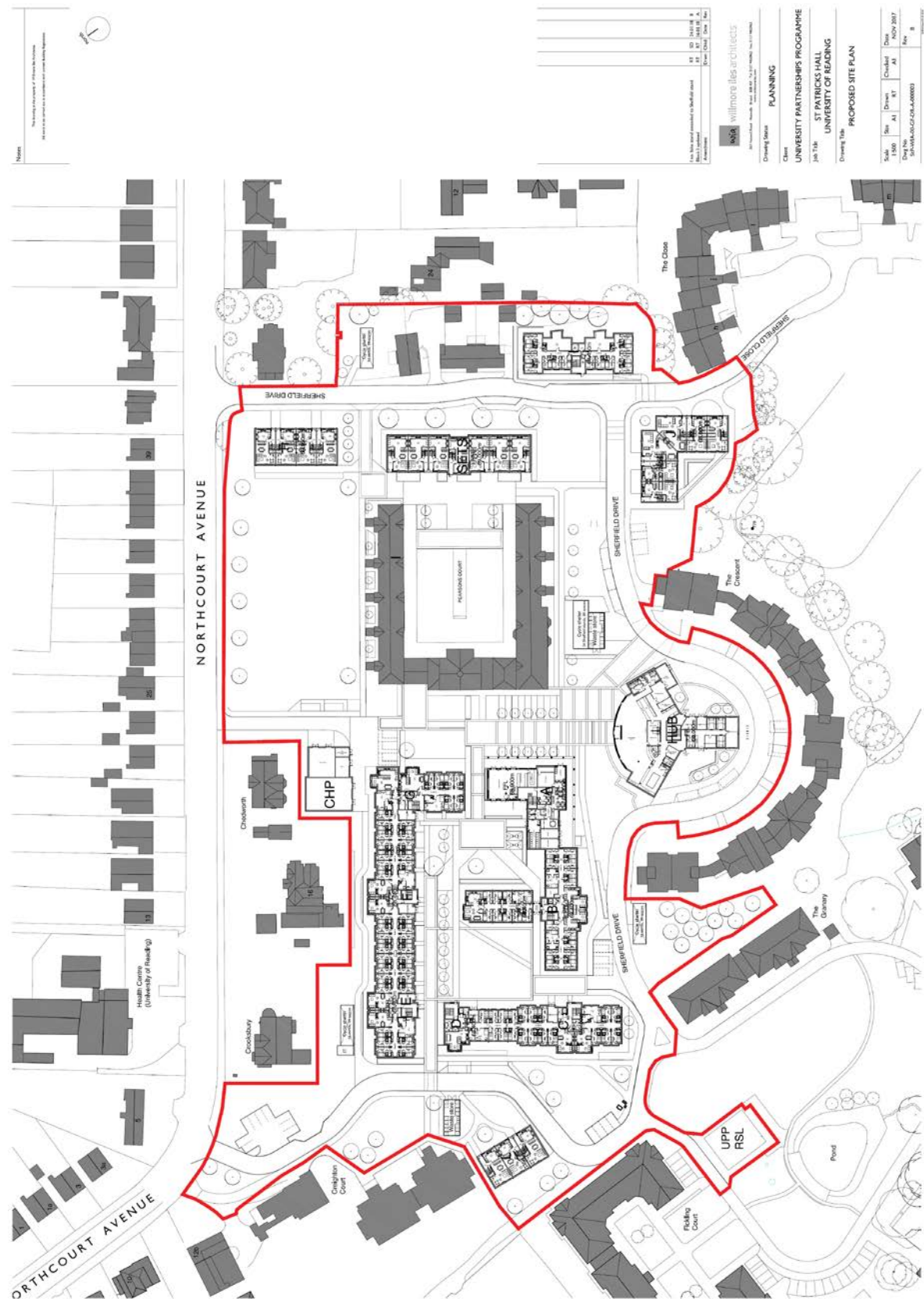
	Existing nos	Proposed nos
Benyon Hall	391	391
Sherfield Hall	344	344
Pearsons Court	116	116
Sets	4	0
New Court	178	0
Northcourt Avenue Houses	48	48
New build Cluster flats		612
New build town house		224
Total New accommodation		836
Total Student accommodation	1081	1735
Creighton Court	24	24
Sherfield Drive Bungalows No 1	2	2
Sherfield Drive Bungalows No 2	2	2
Sherfield Drive Bungalows No 3	1	1
No 4 Sherfield Drive	3	
Wardens House	5	
Total family accommodation	37	29

PROPOSED BUILDING REFERENCE	PROPOSED BEDROOM NUMBERS	
Building A	72	As amended
Building B	126	As amended
Building C	73	
Building D	48	
Building E	62	
Building F	62	
Building G	69	
Building H	32	
Building I	28	As amended
Building J	72	
Building K	72	
Building L	36	
Building SETS	84	
TOTAL	836	

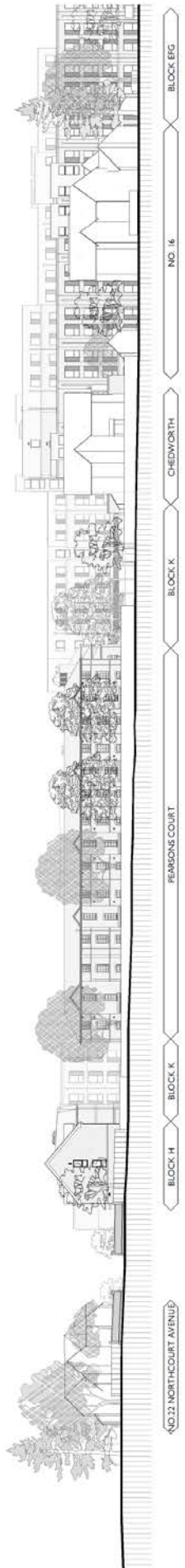
APPENDIX 3 - DRAWINGS

(Limited selection - please refer to online Planning Registers for full details

http://planning.reading.gov.uk/fastweb_PL/welcome.asp)



Proposed Site Plan



SECTION EE

Proposed Elevation to Northcourt Avenue

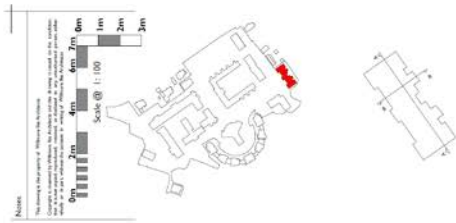


SECTION CC

Proposed NE-SW Section from Northcourt Avenue showing SE Elevations of Blocks A & G

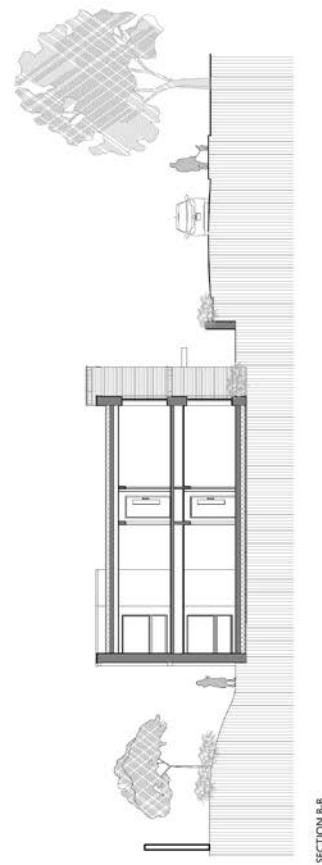
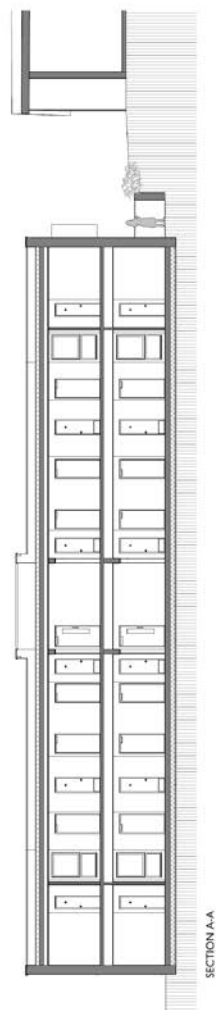


Indicative 3D Computer Generated Model of the Proposed Development



Drawing Status		PLANNING	
Client			
UNIVERSITY PARTNERSHIPS PROGRAMME			
Job Title			
ST PATRICKS HALL			
UNIVERSITY OF READING			
Drawing Title			
BLOCK I - SECTIONS			
Scale	Drawn	Checked	Date
1:100	JAT	RT	JAN 18
Job No	Drawing No	Rev	
0615	15P-V01A-02-DW-A-000102	B	

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Block I Sections

Full set of drawings and documents at:
http://planning.reading.gov.uk/fastweb_PL/welcome.asp)

KATESGROVE

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES

READING BOROUGH COUNCIL

ITEM NO. 11

PLANNING APPLICATIONS COMMITTEE: 7 February 2018

Ward: Katesgrove

App No.: 172118/FUL

Address: 40 Silver Street

Proposal: Demolition of existing building and erection of a part 3 and part 4 storey (plus basement level) building to provide 62 studio rooms (sui generis use class) with associated ancillary space and landscaping works.

Applicant: Silver Street Developments Ltd

Date validated: 29 November 2017

Major Application: 13 week target decision 28 February 2018

RECOMMENDATION

REFUSE Full Planning Permission for the following reasons:

1. The proposed development due to the height and bulk of Block A, the cramped layout between the blocks and the dominating design would result in the site appearing over developed and a harmful addition to the streetscene, of detriment to the character and appearance of the area. As such the proposal is contrary to Policy CS7 of the Reading Borough LDF Core Strategy and para. 17 of the NPPF.
2. The proposed development due to the height, position and bulk (of Block A in particular) will result in the loss of amenity for neighbouring residents through overlooking, loss of privacy, loss of light and noise and disturbance arising from the use of this small site to accommodate 62 students. As such the proposal is contrary to Policy DM4 of the Reading Borough Sites and Detailed Policies Document.
3. The proposed development would lead to a concentration of student accommodation in this area that would detrimentally impact on the lives of adjoining occupiers and would fail to provide a mixed and balanced community contrary to the aims of Policy CS15, NPPF para.50 and emerging Policy H12.
4. In the absence of a completed legal agreement to secure:
 - i) an acceptable mitigation plan or equivalent contribution towards the provision of Employment, Skills and Training for the construction phase of the development,
 - ii) a contribution of £5,000 towards the changes to the parking restrictions to facilitate access into the development,
 - iii) a travel plan and highway alterations,
 - iv) a restriction on occupancy to students only,
 - v) implementation of the student accommodation management plan,the proposal fails to provide adequate controls over the use of the development, including its highways and other travel impacts, contrary to Policies DM4, DM12, CS20, CS22, CS23 and CS24 and the Revised Parking Standards and Design SPD 2011. The proposal also fails to contribute adequately to the employment, skills or training needs of local people with associated socioeconomic harm, contrary to Policies CS3, CS9, DM3 and the Employment Skills and Training SPD (2013).

INFORMATIVES TO INCLUDE

1. IF1 Positive and Proactive Working - refusal
2. Refused plans

1. INTRODUCTION

- 1.1 The application site is on the western side of Silver Street. The site is occupied by a tall single storey commercial building of 610m² with 3 no. pitched roofs, which is the former HSS light industrial warehouse, vacant for a number of years, which largely fills the site. The plot is ca. 23.7m wide to the frontage, 41.2m deep and overlaps slightly behind the vacant adjacent commercial building at 62-68 Silver Street (granted permission for conversion to 16 student flats in 2012 - 110915 - now lapsed).
- 1.2 The site boundary is such that part of the site area is located behind nos. 62-68 Silver Street. To the west of the site is Rimaud House, which is a 3 no. storey residential block at an elevated position approximately 2m higher than the application site. To the north-west the site immediately adjoins no 69 Upper Crown Street, indeed part of the northern flank wall of the existing commercial building forms part of the southern boundary of that property. Immediately to the north is a flatted scheme called Platinum Apartments which is 2.5 storeys with a third floor of accommodation in the roof, which has private amenity space and parking to the rear (west).
- 1.3 The existing building is set back from the highway edge by just over 7m in contrast to the adjacent buildings, which are set much closer to the highway edge.
- 1.4 At present vehicular access to the site is from Silver Street via two dropped kerbs at either end of the site's frontage. Pedestrian access is also via the site's frontage on Silver Street. There is existing parking to the front (7 no. spaces) and a layby by the road. Silver Street is a one way street, with vehicles passing in a north to south direction.
- 1.5 The area is predominantly residential with a mix of traditional terraces and semis, but there are some commercial premises in the area. There is no one single prevailing architectural style which characterises the area, but the majority of the buildings are traditional brick and tile construction. There are a range of different building styles, heights, ages of property and materials, with large scale modern flat blocks located north of the site towards the town centre, and around the site 3-4 storey flats, 2-3 storey courtyard offices (Windsor Square) and to the south 2-3 storey Victorian terraces.
- 1.6 The site lies within an area that has less than 10% tree canopy cover as identified within the Council's adopted Tree Strategy and within an Air Quality Management Area (AQMA) and area of Archaeological Potential as identified within the Council's Sites and Detailed Policies Proposals Map.



Site Plan - not to scale

2. PROPOSAL

- 2.1 Full Planning Permission is sought for demolition of the existing commercial building, which takes up most of the site, to replace it with a part 4 and part 3 storey (plus basement level) building to provide 62 studio rooms (sui generis use class) with associated ancillary space and landscaping works. The scheme would take the form of two wings (Blocks A & B) running almost parallel to each other between 16 metres and 10 metres apart with the taller Block A on the Silver Street frontage. The two wings would be connected by a single storey with basement link on the north boundary of the site. The section drawing at the end of this report illustrates this.
- 2.2 The proposed external surfaces are shown to be grey multi facing brick, zinc cladding to the dormer and roof and aluminium window frames.
- 2.3 The development would be liable for the Community Infrastructure Levy. The CIL regulations allow the floor area of relevant existing buildings to be discounted from the chargeable area provided the premises have been in active use for 6 months from the last 3 years. It is apparent that the site has been vacant therefore if permission were to be granted a CIL of £289,719 would be charged to the total floor area of the proposed building.
- 2.4 Supporting information and plans submitted:

Design & Access Statement Version 1.3
 Landscape Statement
 Planning Statement
 Ground Investigation Summary
 Below Ground Drainage Strategy
 Daylight & Sunlight Study
 Purpose Built Student Accommodation Management Plan
 Planning & Heritage Statement

Plans:
 PL_001 Rev B Location Plan
 PL_002 Rev B Site Plan
 PL_009 Rev B Sections
 PL_100 Rev B Lower Ground Floor Plan

PL_101 Rev B Ground Floor Plan
PL_102 Rev B 1st Floor Plan
PL_103 Rev B 2nd Floor Plan
PL_104 Rev B 3rd Floor Plan
PL_105 Rev B Roof Plan
PL_106 Rev B Elevations - sheet 1
PL_107 Rev B Elevations - sheet 2
PL_108 Rev B Elevations - sheet 3
2892 201 Planting Plan

3. PLANNING HISTORY

- 150885/FUL - The proposed redevelopment of 40 Silver Street, demolition of existing light industrial building and erection of 14 flats (8x2bed & 6x1 bed, including 14 parking spaces and landscaping - Approved 21/3/16
- There have also been pre-application enquiries including one for the current scheme.

4. CONSULTATIONS

4.1 Statutory:

No statutory consultations were required given the nature of the application.

4.2 Non-statutory:

- RBC Transport Development Control/SUDS
This application is for the demolition of the existing building and erection of a part 3 and part 4 storey building to provide 62 studio rooms for student housing with associated ancillary services and landscaping works.

The application site is outside the town centre area but is within close proximity to frequent premier bus routes that run to and from the town centre and Reading University. The site is therefore accessible to good public transport links, town centre services and employment areas.

Parking Provision

The site is located in Zone 2, Primary Core Area, of the Revised Parking Standards and Design SPD. This zone directly surrounds the Central Core Area and extends to walking distances of 2 kilometres from the centre of Reading. The parking standards set for Halls of Residence located in this zone are 1 space per FTE member of staff and no requirements for students, however, there are no adopted parking standards for student accommodation which are provided “off campus” and operate as independent providers of higher education accommodation. Therefore, an application of this type is likely to be considered on its own merits considering local circumstances including access to public transport provisions and the availability of parking and on-street regulations.

The site is proposed to be car-free aside from 3 parking spaces set into the building frontage will allow vehicles to service the site including loading and unloading of student belongings at the start and end of the university year.

The development will operate with 'no-car' leases precluding students from bringing a car to the site or to central Reading.

The A327 Silver Street is part of the "A" road network carrying between 9,000 and 10,000 vehicles a day. Silver Street has "No Waiting" parking restrictions (DYL) preventing on-street parking and peak hour loading bans between 8.15-9.15am and 4.00-6.15pm. Therefore, any overflow in parking would not affect flow of traffic on the classified road network. The residential roads (adopted roads) surrounding the site consists of a mixture of double yellow lines and permit holder only parking bays.

Considering the proximity of the site to the town centre and given that Silver Street has extensive parking restrictions which are enforced by Reading Borough Council, the non-provision of student parking spaces is acceptable. However, three parking spaces at the front of the property will be available for loading / unloading on move in and move out days, which is discussed later in the report.

The site will be managed by a 24/7 management team consisting of 1 full time member of staff and 3 part time members of staff. It is indicated that the site will be managed in conjunction with the recently approved scheme by the same developer at 79 Silver Street. In accordance with the Council's adopted standards, parking provision for staff parking should be made within the site. Therefore, the three parking spaces at the front of the property could be available for staff use outside of the moving in and out periods.

Access & Servicing

A layby currently runs across the site frontage and there are currently two access points which are protected by "No Waiting" parking restrictions (double yellow lines). The applicant has not demonstrated the proposed access arrangements on the submitted plans. However, the proposal includes the provision of 3 parking spaces which will require introduction a new footway crossover and changes to the existing no waiting restrictions. This process involves changes to the Traffic Regulation Order (TRO) which will require approval by the Traffic Management Sub Committee (TSUB) and will be subject to statutory consultation. The Council's Network Management team would need to be consulted on this to advise on the necessary processes to follow. Any costs associated with the changes to the TRO and on-street signage and markings would have to be paid upfront by the applicant. The costs associated with this process are in the region of £5,000 and the development could not be implemented until the process has been followed. The Traffic Regulation Order contribution should form part of the S106 obligations and the full access arrangements should be covered by condition.

On-street refuse collection will occur and bins will be collected weekly on a contract with a private or council operated refuse collection. The refuse store is located to the side of the site, approximately 15m from the highway. The management team will bring the bins to a holding area at the front of the site on collection days to ensure easy collection by the refuse collectors. Once the bins have been collected they will be returned to the secure bin store at the rear of the site by the management team. This arrangement is acceptable.

Arrival & Departure

Given that students will be prohibited from bringing vehicles to the site, the proposed uses would attract very little in the way of vehicular movements. However, the peak demand for parking spaces will be during the arrival and departure periods when students are moving into and departing from the site.

A Student Management Plan has been submitted with this application which outlines the move in process at the start and end of term times. Student arrivals will be a managed process over two weekends each academic year. The three available parking spaces at the front of the property will be available for loading / unloading on move in and move out days. A pre-booked timeslot approach will be implemented by the management team to use the parking spaces at the front of the site during the moving in period to facilitate the process and minimise the highway impact.

Sustainable Travel

Travel plans are used to initiate modal shift away from the private car and towards a more sustainable modes. A framework for the Travel Plan has been included within the Student Management Plan which should be formalised prior to occupation.

The travel plan measures include:

1. The appointment of a travel Plan co-ordinator which will be funded for a period of five years after first occupation of the site.
2. Provision of sustainable travel packs to all residents including bus network and cycle network maps
3. Restrictions in tenancy agreement for ownership of car in Reading
4. Student travel surveys
5. Monitoring of cycle parking provisions

In accordance with the Council's Revised Parking Standards and Design SPD, the development would be required to provide 1 cycle parking space per 3 staff and 1 space per 5 students. The plans indicate an on-site cycle store within a covered area to the rear of the site equipped with sheffield cycle stands. The proposed cycle storage provision complies with the Council's adopted standards and is acceptable.

Construction

The applicant should be aware that there would be significant transport implications constructing the proposed building in this prominent location. Any full application would be conditioned to ensure a Construction Method Statement is submitted and approved before any works commence on-site.

SuDs

The application is submitted with a Sustainable Drainage application which is acceptable subject to conditions.

- **RBC Environmental Protection**

Concerns exist for noise impact on development: A noise assessment should be submitted in support of applications for new residential proposed in noisy areas.

The noise assessment will be assessed against the recommendations for internal noise levels within dwellings and external noise levels within gardens / balconies in accordance with BS 8233:2014 and WHO guidelines for Community Noise. The report should identify any mitigation measures that are necessary to ensure that the recommended standard is met.

Where appropriate, the noise assessment data should also include noise events (LAMax) and the design should aim to prevent noise levels from noise events exceeding 45dB within bedrooms at night. Noise levels above 45dB are linked with sleep disturbance.

Internal noise criteria (taken from BS8233:2014)

Room	Design criteria	Upper limit
Bedrooms (23:00 to 07:00)	<30dB LAeq,8hour	
Living rooms (07:00 - 23:00)	<35dB LAeq,16hour	
Gardens & Balconies	<50dB LAeq,T	<55dB LAeq,T

As a noise assessment has not been submitted and the proposed development is by a busy road, I recommend a condition is attached to any consent requiring a noise assessment to be submitted prior to commencement of development and any approved mitigation measures implemented prior to occupation to show that recommended noise levels in the table above can be met.

The noise assessment will need to identify the external noise levels impacting on the proposed site.

Noise mitigation is likely to focus on the weak point in the structure; glazing. Given that the acoustic integrity would be compromised should the windows be opened, ventilation details must also be provided, where mitigation relies on closed windows. Ventilation measures should be selected which do not allow unacceptable noise ingress and should provide sufficient ventilation to avoid the need to open windows in hot weather, however non-openable windows are not considered an acceptable solution due to the impact on living standards.

Conditions regarding sound insulation from external noise, implementation of approved noise mitigation scheme are recommended.

Air Quality - Although the proposed development is within the AQMA, nearby monitoring shows that air quality is well below the objective levels and the scale of the development is below the thresholds likely to have an adverse impact. Therefore it will not be necessary to carry out an air quality assessment for this development.

Contaminated Land - The development lies on the site of an historic works which has the potential to have caused contaminated land and the proposed development is a sensitive land use.

Ideally a 'phase 1' desk study should be submitted with applications for developments on sites with potentially contamination to give an indication as to the likely risks and to determine whether further investigation is necessary.

Investigation must be carried out by a suitably qualified person to ensure that the site is suitable for the proposed use or can be made so by remedial action.

Conditions are recommended to ensure that future occupants are not put at undue risk from contamination.

Construction and demolition phases - concerns about potential noise, dust and bonfires associated with the construction (and demolition) of the proposed development and possible adverse impact on nearby residents (and businesses).

Fires during construction and demolition can impact on air quality and cause harm to residential amenity. Burning of waste on site could be considered to be

harmful to the aims of environmental sustainability. Conditions are recommended.

- **RBC Planning Natural Environment Team**

As with previous applications on the site, there is an expectation that suitable tree planting is proposed on the Silver Street frontage.

The site plans shows 5 trees in front of the building, the elevations show three trees (two in front of the building and one on the other side of the access) and the landscape plans show four trees (three in front of the building and one on the other side of the access). It is assumed that the landscape plan reflects the tree planting actually proposed.

There are various potential issues with the proposed tree planting on the frontage and a response is required to these:

- It is very difficult to tell but the trees appear to be either right on the front boundary or straddling the boundary with the Council pavement. It would seem that the tree pit (see comments below) would therefore need to be partly on Council land. Clarification is required.
- The trees are located between car park spaces which raises two concerns:
 - How will the trees be physically protected to prevent accidental damage from vehicles and do they pose any issue with visibility splays?
 - No tree pit drawings/specifications appear to have been proposed which is required to show that these can feasibly be provided. These should use root cells to provide sufficient soil volume to allow the trees to mature and root barriers to prevent damage to adjacent hard surfacing
- It appears there is direct conflict between the drainage strategy (surface water chamber) and the northern-most tree. Comment is required on this.
- The first floor extends further towards Silver Street than the ground floor resulting in potential conflict with tree canopies in the future. What is the distance from the centre of the tree pit (trunk position) and front elevation (nearest point to Silver Street)?
- In terms of the proposed species, the *Betula Jacquemontii* (arguably overused in landscape schemes) should be replaced with a native Birch (or other species) to improve biodiversity.

- **RBC Ecology**

The application site comprises a single-storey industrial unit. It is proposed to demolish the unit and to replace it with a 4-storey building providing up to 62 studio dwellings. Considering the building's structure (the roof is unlined with no void, and there are rooflights on the rear elevation [as shown in the Design and Access statement photographs]) and the poor suitability of the surrounding habitats for use by commuting or foraging bats, it is unlikely that the demolition will adversely affect bats. As such, since the works are unlikely to adversely affect any protected species, there are no objections to this application on ecological grounds.

Moreover, the proposed landscaping scheme (including a green wall, trees, ornamental plantings and climbers) will be improve the wildlife opportunities offered by the site (the design which now includes a much more intensive landscaping scheme overcomes previous concerns about the tree planting along the frontage).

Silver Street hosts a large population of swifts which nest under the eaves of the houses. Swifts numbers have been declining in recent years in part due to the loss of and lack of nesting sites. As such, and in accordance with the NPPF

(paragraph 109 of which states that the planning system should provide “net gains in biodiversity where possible”) and Policy CS36 of the Core Strategy opportunities to enhance the site for swifts would need to be provided. A cheap and easy way of doing this is to provide swift bricks in the walls of the new buildings, see: http://www.swift-conservation.org/swift_bricks.htm for details. A condition requiring the proposed measures and swift boxes to be provided was recommended.

- **Berkshire Archaeology**

There are potential archaeological implications associated with this proposal. The site is located on the line of the civil war defences as shown on a 1643 map. The location of these defences has been proven by previous excavations immediately to the east, west and north of the proposal site. These excavations recorded a large ditch and other features possibly associated with the defences. In addition to the civil war defences the site lies within an area of medieval potential, located on the periphery of the medieval town. A medieval tiler was discovered during excavations at Jubilee Square about 400m to the north. With the discovery of the civil war defences adjacent to the proposal site there is the potential that similar buried remains may be present at 40 Silver Street. A scheme of work consisting of trial trenching after demolition of the existing building would allow the potential for and significance of any buried features or deposits to be assessed.

A condition is recommended requiring an archaeological investigation is attached to any planning permission granted, to mitigate the impact of the development.

4.3 Public consultation:

59 properties were consulted by neighbour consultation letter. A site notice was displayed. 4 objections were received from residents living in Platinum Apartments, Stirling House, Windsor Square and Upper Crown Street. The comments are, in summary:

- Platinum Apartments will be overshadowed by the proposed development's Block A in height and depth. This raises substantial concern as the overdevelopment of the area fails to take into consideration the restrictions on the provisions of daylight reaching surrounding properties and the adequacy of the daylight survey is questioned.

The proposed moving in and out arrangements for the development are vague and need to be re-presented to prove their clarity and effectiveness. The provision of only 3 parking spaces which directly front on to a busy one way route from the city centre are inadequate for these numerous manoeuvres. The route is also regularly used by emergency vehicles. Road safety will be compromised and congestion will be further exacerbated by the similar lack of drop off and pick up facilities directly opposite at the developer's 79 Silver Street site.

As the developer is offering luxury student accommodation it is a fair assumption in the 100 plus occupants at the two sites several will be affluent enough to own their own car. Parking in the Katesgrove area is problematic for the local community without additional potential pressures and nuisance impacting upon council tax-paying residents. Normal expectations with regard to parking should be applied to this development. It is unrealistic to expect particularly low levels of car ownership and use.

Approval of another large student residence on Silver Street would change the neighbourhood's character and fundamentally alter the shape and balance of the local community. It would diminish the quality of life of existing residents and harm many people's enjoyment of the area. Such being the case, the application flies in the face of the stated intention in the Reading Borough LDF (para 2.11) that planning in an urban area such as Reading should be framed by overarching themes including improving quality of life and creating sustainable communities.

- Opposed to the use with too many studios and student rooms provided. Compromise of security and privacy as well blocking the day light into the property and back garden. Parking problems. Noise and nuisance caused. Harm to property value.
- This is already a very busy area and residents in Silver Street already park in the parking spaces in Windsor Square. Without adequate parking of the new development the situation will become untenable.
- The proposed use; loss of light, overlooking and loss of privacy, lack of parking

Ward Councillor Rose Williams also commented.

5. RELEVANT PLANNING POLICY AND GUIDANCE

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.

The following local and national planning policy and guidance is relevant to this application:

National Planning Policy Framework

Reading Borough LDF Core Strategy 2008 (Altered 2015)

- CS1 Sustainable Construction and Design
- CS2 Waste Minimisation
- CS4 Accessibility and the intensity of development
- CS5 Inclusive Access
- CS7 Design and the Public Realm
- CS9 Infrastructure, Services, Resources and Amenities
- CS11 Use of Employment Land for Alternative Uses
- CS20 Implementation of the Reading Transport Strategy
- CS23 Sustainable Travel and Travel Plans
- CS24 Car/Cycle Parking
- CS26 Network and Hierarchy of Centres
- CS31 Additional and Existing Community Facilities
- CS32 Impacts on Community Facilities
- CS33 Protection and Enhancement of the Historic Environment
- CS34 Pollution and Water Resources
- CS36 Biodiversity and Geology
- CS38 Trees, Hedges and Woodland

Sites and Detailed Policies Document 2012 (Altered 2015)

- SD1 Presumption In Favour Of Sustainable Development

- DM1 Adaptation to Climate Change
- DM3 Infrastructure Planning
- DM4 Safeguarding Amenity
- DM10 Private and Communal Outdoor Space
- DM12 Access, Traffic and Highway-Related Matters
- DM13 Vitality and Viability of Smaller Centres
- DM18 Tree Planting
- DM19 Air Quality
- SA14 Cycle Routes

Supplementary Planning Guidance

- Revised Parking Standards and Design SPD (2011)
- Revised SPD Planning Obligations under Section 106 (2015)
- Sustainable Design and Construction SPD (2011)
- Employment, Skills and Training SPD (2013)

6. APPRAISAL

6.1 The main issues to be considered are:

- a) Principle of use/location
- b) Design quality
- c) Density and mix
- d) Impact on amenities of adjoining occupiers and future tenants
- e) Highways and transport issues
- f) Landscape
- g) Other (S106, CIL, noise, drainage)

a) Principle of use/location

6.2 The existing commercial building is of poor quality and its replacement with a new building that improved the appearance of the area would be welcome.

6.3 The site is located on the edge of what was once quite a large area of industrial use but is now dominated by residential uses with some business, commercial and community uses. It is an accessible location on the edge of the town centre with its many facilities, shops and public transport options. The redevelopment of this brownfield site would represent a sustainable development and an effective reuse of the site, removing commercial development from a residential area, which would accord with national and local policies, in particular Paragraph 14 of the NPPF, which sets out a presumption in favour of sustainable development, Core Strategy Policy CS14, and Sites and Detailed Policies Document Policy SD1.

6.4 The site has been vacant for a number of years and no viable commercial user has come forward. Core Strategy Policy CS11 considers when assessing proposals outside of the Core Employment Areas that would result in loss of employment land whether a site is accessible by a choice of means of transport, if continued employment use is viable or detrimental to the amenity and character of the area. The principle of the loss of the commercial use for residential use was accepted with the granting of planning permission for application 150885/FUL.

6.5 There is no specific policy relating to the location or provision of student accommodation although the draft Local Plan includes Policy H12: Student

Accommodation, states that “*New student accommodation will be provided on or adjacent to existing further or higher education campuses, or as an extension or reconfiguration of existing student accommodation. There will be a presumption against proposals for new student accommodation on other sites unless it can be clearly demonstrated how the proposal meets a need that cannot be met on the above sites.*” At the time of making this recommendation this policy should be given limited weight when assessing the principle of the proposed development.

6.6 The conclusion is that there are no current relevant policies or material considerations that would count against the principal of changing the use of the site from a commercial employment use to student accommodation. However, the acceptability of the proposed development as submitted now needs to be assessed for compliance with other adopted Policies relating to the character of the area, quality of the layout and design, residential amenities and transport, which are now discussed below.

b) Design quality

6.7 Policy CS7 requires that all development must be of high design quality that maintains and enhances the character and appearance of the area of Reading in which it is located. The various components of development form, including: -

- Layout: urban structure and urban grain;
- Landscape;
- Density and mix;
- Scale: height and massing; and
- Architectural detail and materials.

will be assessed to ensure that the development proposed makes a positive contribution to a number of urban design objectives. This part of the report will look at the layout, scale and architectural detail of the proposed scheme.

6.8 The proposed scheme is for a single building linked at ground and basement level to give the appearance of being two buildings. Block A, would appear to have a pitched roof with dormers when viewed from ground level from the west and east but would have a sunken section between the dormers in an attempt to minimise the apparent height and bulk of the building. At its highest above ground level it would be 13 metres with lower eaves (9 metres) on the Silver Street frontage than at the rear. Three parking spaces are shown in a recess beneath the first floor.

6.9 The existing commercial building on the site is approximately 2 domestic storeys in height and when viewed in the context of the surrounding taller buildings is incongruous in the streetscene. The extant planning permission granted for application 150885/FUL for residential development proposed an acceptable building 3.5 storeys in height. By contrast, the proposal at 4 storeys (plus roof) would be significantly higher than the buildings on either side as can be seen from the Silver Street elevation below.



6.10 The existing neighbouring buildings on either side attempt to reflect a more traditional design approach with domestic sized windows and small dormer features, which fits in with the proportions of Silver Street. The proposed approach seeks to introduce a modern design with emphasis on rectangular forms with large window openings. In isolation the design is not displeasing but it would appear odd in this context.

6.11 It is relevant that the scheme that has just been approved for the same developer at 79 Silver Street has a similar architectural style but a comparison of the illustrations provided demonstrates how that scheme was found to be acceptable whereas the bulky design now proposed across the street is unacceptable in context.



79 Silver Street - 170685



40 Silver Street proposal

6.12 Block B at the rear is 3.5 storey (c.8 metres high above ground level) high above ground level and with a narrower footprint. The two blocks are angled so the gap between them tapers from 15 metres wide at the north end of the site down to 10 metres wide at the southern end where the site overlaps the rear of 62-68 Silver Street. This neighbouring site is currently vacant and was last in employment use but was granted planning permission to convert to student residential use in 2012. That permission has now lapsed but the potential for this site to come back into use either for light industry or residential use via the current prior approval process is relevant when considering how close proposed Block B is to this site.

6.13 The central courtyard is shown to be pleasantly laid out but at 170 Square metres would be inadequately sized to cater for the proposed 62 students. Also, the short distance between the two blocks would make this space feel

very over looked and dominated by the mass of the buildings. Block A's elevation would be about 14 metres high on the east side and Block B's elevation would be 11 metres high on the west side. The illustrations shown below suggest how this may appear:



West facing rear of Block A



East facing front of Block B

6.14 In conclusion it is considered that the height and depth of Block A would be excessive and the bulky design would be exaggerated further by the repetition of large rectangular openings and the use of dormers that give a top heavy appearance. Block B benefits from being less high and deep but the design still gives an appearance of bulk which would appear incongruous in the cramped courtyard setting. Due to their proximity the two blocks with the link building would read as one block from many aspects so it is considered that the proposal would be an overdevelopment of the site. The proposed development would fail to secure the high quality design required by Policy CS7, with consequent harm to the character and appearance of the area.

c) Density and mix

6.15 Policy CS15 explains that an “appropriate density and mix of residential development within the Borough will be informed by: -

- An assessment of the characteristics, including the mix of uses of the area in which it is located;
- Its current and future level of accessibility by walking, cycling and public transport, as defined in Policy CS4;
- The need to achieve high quality design in accordance with Policy CS7; and
- The need to minimise environmental impacts, including detrimental impacts on the amenities of adjoining occupiers.

Developments should provide an appropriate range of housing opportunities in terms of a mix of housing types, sizes and tenures. The aim being, in accordance to long standing national planning policy and now Paragraph 50 of the National Planning Policy Framework, to provide mixed and balanced communities.

6.16 It is also the intention of emerging local plan policy H12 to control where student housing will be provided in the future to prevent the over-concentration of student accommodation which needs to be balanced against other types of housing. It was found to be inappropriate to apply this policy against the issue of the principle of the proposed development as the applicant is not currently required to demonstrate the need for it. However, the background to the policy refers to the need to retain sites for general housing too. The supporting text explains “*Whilst it is likely that purpose built student housing can free up some existing homes to meet more general needs, there are many sites where development for students prevents a potential housing site being used to help to meet the more*

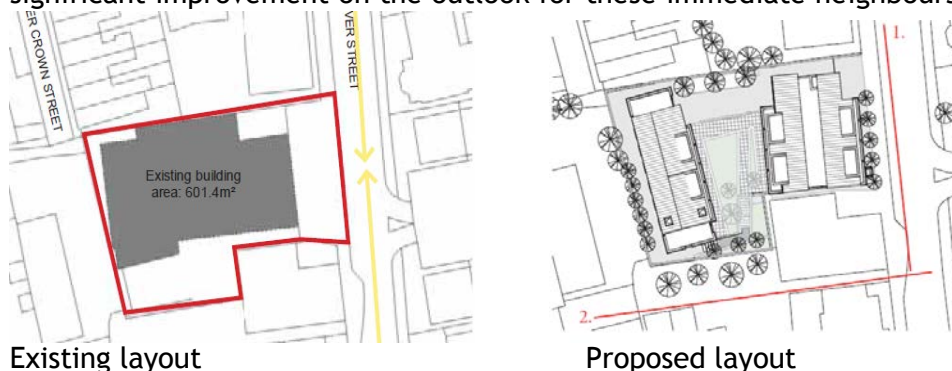
pressing needs for general housing, including affordable housing. Development for students should therefore be limited to established student locations, unless a specific need for a development in a certain location can be clearly demonstrated”.

6.17 With 62 studios on a site with an area of 0.1113 ha the resulting density is 558 dwellings per ha. For this edge of town centre site a high density is not unusual (the approved residential scheme has a density of 125 dph) and this density for student accommodation could work if other policy considerations were met. However, there is a significant concern that the potential concentration of student accommodation in this area, with 79 Silver Street (56 rooms) across the road and the 99 room student accommodation to the north on Crown Street, will detrimentally impact on the lives of adjoining occupiers and by failing to provide a mixed and balanced Policy community would be contrary to Policy CS15, NPPF para.50 and emerging Policy H12.

d) **Impact on amenities of adjoining occupiers and future tenants**

6.18 Policy DM4 (Safeguarding Amenity) states that development should not cause a significant detrimental impact to the living environment of existing or new residential properties in terms of privacy and overlooking, access to sunlight and daylight, visual dominance and overbearing, noise and disturbance, artificial lighting, crime and safety. Policies CS7 and CS15 also refer to the need to ensure that the amenities of neighbours are not significantly harmed.

6.19 The existing building is approximately two domestic storeys high and at the boundaries with adjacent residential development presents a dominant and overbearing relationship, particularly on the northern boundary with Upper Crown Street and Platinum Apartments. The proposed development would radically change this relationship and in plan form, see below, could be a significant improvement on the outlook for these immediate neighbours.



6.20 However, due to the proposed height and mass of the new buildings, more residents living nearby would find their outlook and amenities harmed through either loss of light, over bearing development and loss of privacy. This would particularly apply to residents living to the north of the site in Upper Crown Street and Platinum House and residents that might be introduced if 62-68 Silver Street were to change to residential use. Rimaud House, to the west, is a part three, part two storey building set on higher ground than the application site so that relationship is of less cause for concern.

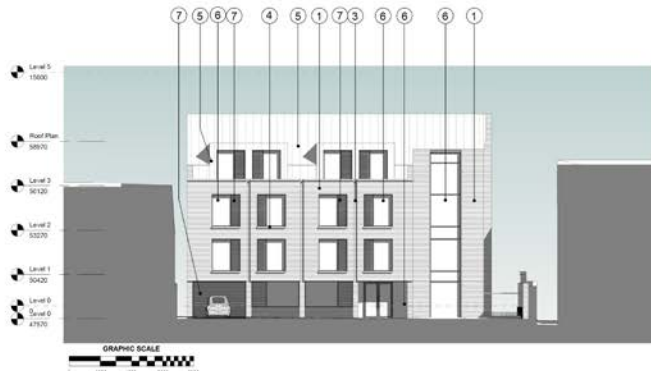
- 6.21 The submitted Daylight & Sunlight Study analyses the impact of the proposed development against a baseline of the existing buildings and that approved by the previous planning permission. This confirms that the properties most impacted would be 69 Upper Crown Street and south facing units in Platinum Apartments. Of the 10 windows in these properties overlooking the site 5 would suffer an adverse impact and in 3 cases an over 40% reduction in daylight is anticipated.
- 6.22 The amenities of occupiers of the development also need to be considered. The proposed room sizes and facilities to be provided are acceptable with the smallest room being 17 sq.m rising to the largest being 32 sq.m. A window-less common room (67 sq.m) is provided in the lower ground floor as well as bin and bicycle storage rooms. However, as referred to above, the outdoor amenity area is cramped and with 62 studios on site it is unlikely that this area will prove to be more than a strip of landscaped setting for the buildings with little attraction for use as sitting out space.
- e) Highways and transport issues
- 6.23 The transport comments are provided in full above. The nature of the proposed use, the proximity of the site to facilities and public transport routes, the ability to provide some on-site parking and a management plan to describe how students will be instructed to access the site have led to the conclusion that there are no transport objections to the proposal subject to a number of planning conditions to ensure all happens as planned and a S106 agreement to secure payment towards road restriction works and compliance with the Student Travel Plan.
- f) Landscape
- 6.24 The natural environment officer has raised a number of questions about the detail of the proposed landscaping. The agent has not responded to these questions. However, there is no fundamental objection to the landscape scheme as proposed and the additional tree planting on the Silver Street frontage is welcomed. This aspect of the proposal would be acceptable subject to conditions to ensure the landscaping is carried out as proposed and to secure additional detail.
- g) Other (S106, drainage, equalities)
- 6.25 Planning Obligations
- Had the planning application been found acceptable negotiations for a S106 legal agreement would have progressed to secure:
- i) an acceptable mitigation plan or equivalent contribution towards the provision of Employment, Skills and Training for the construction phase of the development,
 - ii) a travel plan and highway alterations,
 - iii) a restriction on occupancy to students only,
 - iv) implementation of the student accommodation management plan,
- The absence of such an agreement would form a further reason for refusal of planning permission.
- 6.26 Drainage
- The sustainable drainage details submitted have been assessed and confirmed to be acceptable.
- 6.27 Equalities impact assessment
- In determining this application the Committee is required to have regard to its obligations under the Equality Act 2010. The key equalities protected

characteristics include age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, gender, sexual orientation. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application. In terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

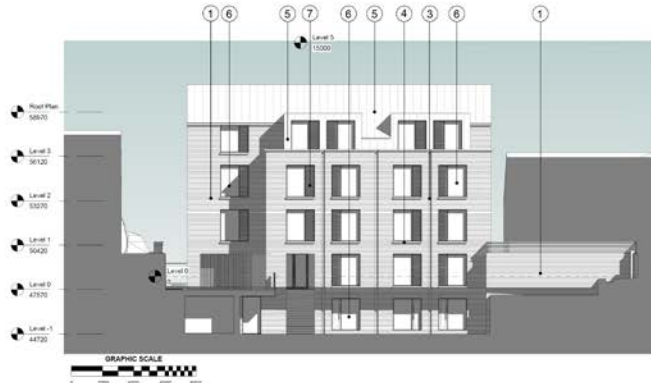
7. CONCLUSION

- 7.1 The proposed redevelopment is not considered to comply with the relevant Development Plan Policies as assessed above. It is therefore recommended that it should be refused planning permission for failing to provide an acceptable design, for leading to a loss of amenity for neighbours and future tenants, for failing to provide for a mixed and balanced community and for the absence of a S106 legal agreement.

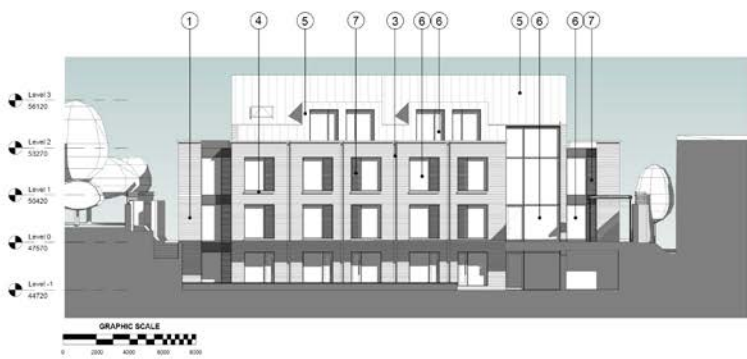
Case Officer: Alison Amoah



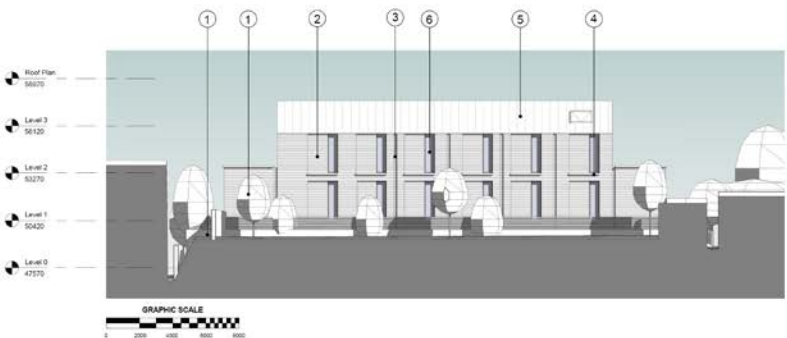
1 Elevation 1 - Silver Street
1: 100



2 Elevation 2 - Block A Courtyard
1: 100



1 Elevation 3 - Block B Courtyard
1: 100



2 Elevation 4 - Block B West
1: 100



External Finishes

- | Ref. | Description |
|------|-----------------------------------|
| 1. | Fair Faced Brick |
| 2. | Feature Brick Panel |
| 3. | Recessed Joint in Brick |
| 4. | Brick Cill |
| 5. | Standing Seam Zinc Roof |
| 6. | PPC Aluminium Window |
| 7. | PPC Aluminium Ventilation Louvres |
| 8. | Glazed Balustrade |

PLANNING

Silver St
Developments Ltd

oec

Proj No:	Elevations - Sheet 1
Proj Title:	40 Silver Street, Reading
Scale:	As indicated @ A1
Date:	15/06/17
Proj No:	PL_108

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External Finishes

- | Ref. | Description |
|------|-----------------------------------|
| 1. | Fair Faced Brick |
| 2. | Feature Brick Panel |
| 3. | Recessed Joint in Brick |
| 4. | Brick Cill |
| 5. | Standing Seam Zinc Roof |
| 6. | PPC Aluminium Window |
| 7. | PPC Aluminium Ventilation Louvres |
| 8. | Glazed Balustrade |

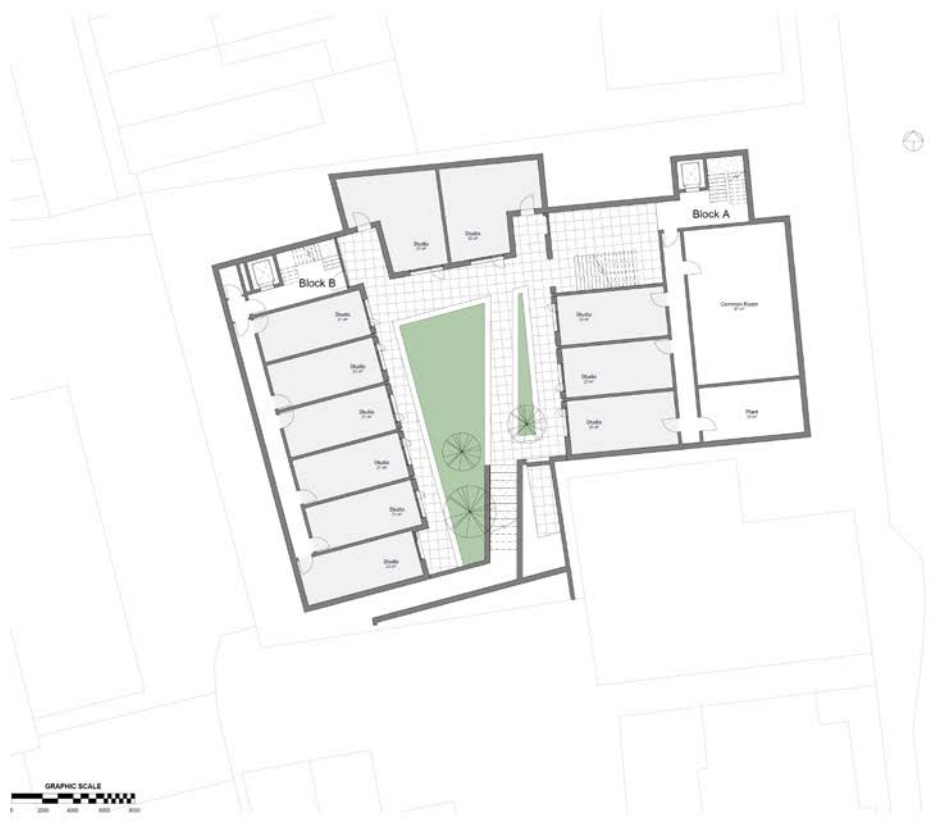
PLANNING

Silver St
Developments Ltd

oec

Proj No:	Elevations - Sheet 2
Proj Title:	40 Silver Street, Reading
Scale:	As indicated @ A1
Date:	15/06/17
Proj No:	PL_107

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1 Level -1
1:100

oeo

Notes:

- All dimensions are in millimetres unless stated otherwise. No dimensions are to be taken from the drawing.
- The drawing shall be used for construction purposes only and shall not be used for any other purpose.
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PLANNING

Project Name	40 Silver Street, Reading
Scale	1:100
Author	PD
Check	PD
Date	17/17

oeo

Project Name: Lower Ground Floor Plan

Address: 40 Silver Street, Reading

Scale: 1:100 @ A1

Author: PD

Check: PD

Date: 17/17

Project No.: PL_190

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1 Level 0
1:100

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PLANNING

Project Name	40 Silver Street, Reading
Scale	1:100
Author	PD
Check	PD
Date	17/17

oeo

Project Name: Ground Floor Plan

Address: 40 Silver Street, Reading

Scale: 1:100 @ A1

Author: PD

Check: PD

Date: 17/17

Project No.: PL_190

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Level 1
1: 100



Level 2
1: 100

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 2. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.
 3. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.
 4. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.
 5. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.

PLANNING

1	Level 1	1: 100	PO
2	Level 2	1: 100	PO

oea

oea			
1st Floor Plan			
40 Street Street, Reading			
Scale:	1: 100	@ A1	Sheet: PO
Date:	10/04/17	Proj. No.:	1717
Drawn by:	PL_102	Rev.:	B

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 2. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.
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 4. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.
 5. All dimensions are in millimeters unless stated otherwise. All dimensions are rounded up to the nearest millimeter.

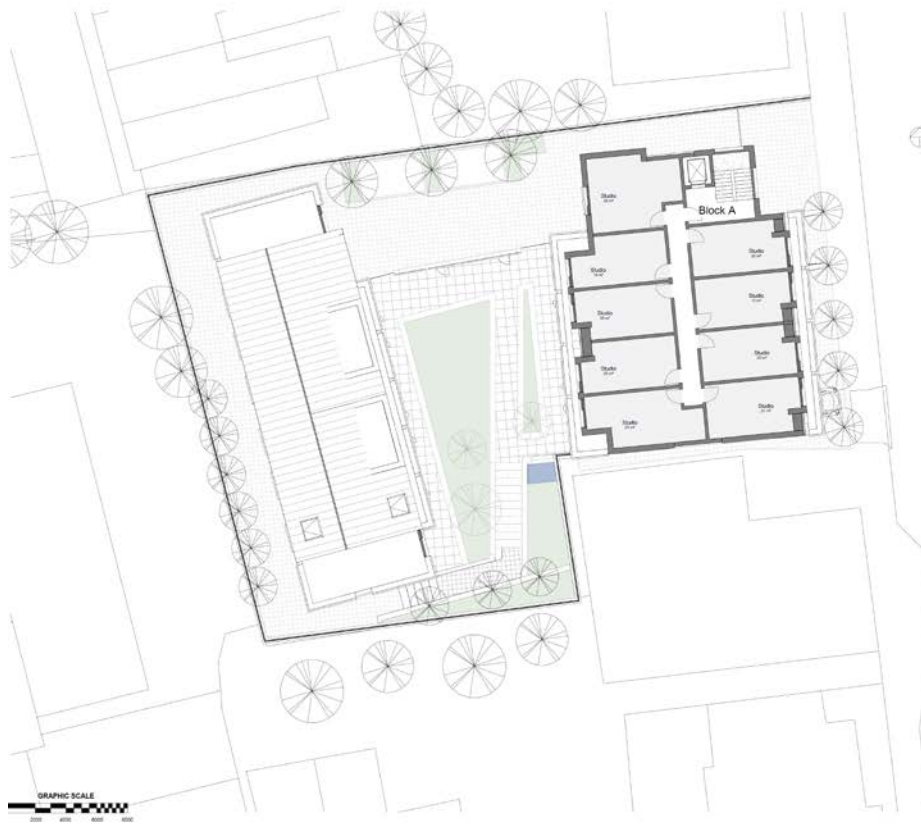
PLANNING

1	Level 1	1: 100	PO
2	Level 2	1: 100	PO

oea

oea			
2nd Floor Plan			
40 Street Street, Reading			
Scale:	1: 100	@ A1	Sheet: PO
Date:	04/10/17	Proj. No.:	1717
Drawn by:	PL_102	Rev.:	B

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Level 3
1:100

O&G

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- Do not scale drawings for construction. All dimensions for construction are to be taken from the drawings.
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PLANNING

1	Level 3	06/12/17	1717
2	Level 3	06/12/17	1717
3	Level 3	06/12/17	1717

O&G

Project Name: 2nd Floor Plan

Site No: 42 Silver Street, Reading

Scale: 1:100 @ A1 Date: 06/12/17

Drawn by: PL_104

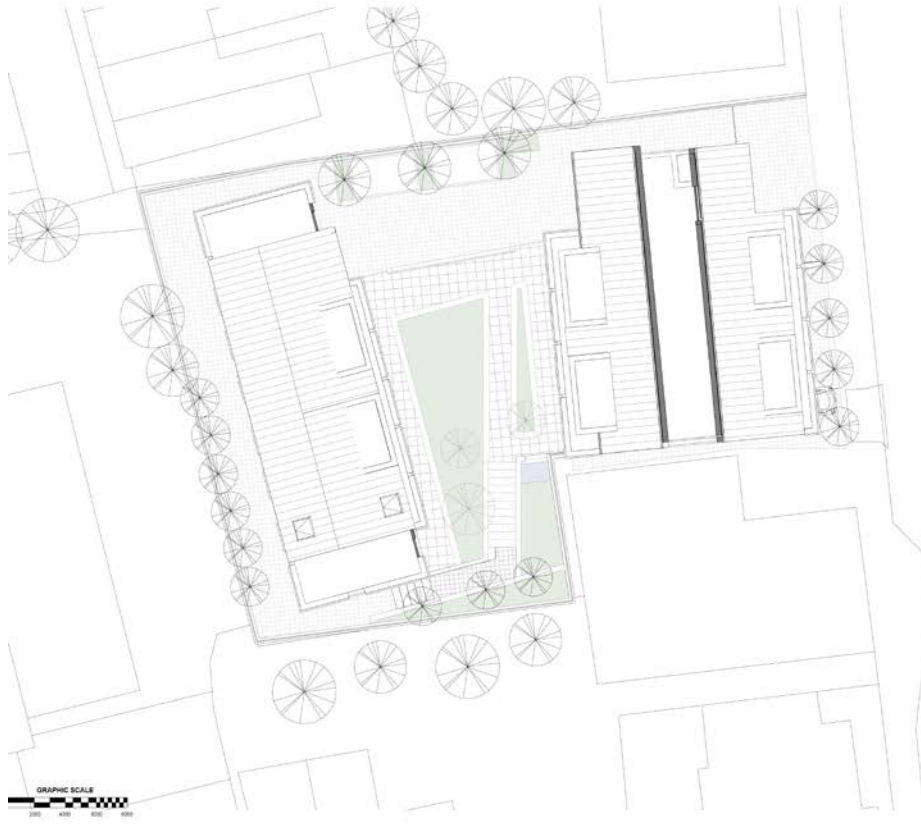
Checked by: B

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Notes:

- All dimensions are in millimeters unless stated otherwise. No projections.
- Do not scale drawings. All dimensions for construction are to be taken from the drawings.
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- Do not scale drawings for construction. All dimensions for construction are to be taken from the drawings.
- Do not scale drawings for construction. All dimensions for construction are to be taken from the drawings.



Roof Plan
1:100

PLANNING

1	Roof Plan	06/12/17	1717
2	Roof Plan	06/12/17	1717
3	Roof Plan	06/12/17	1717

O&G

Project Name: Roof Plan

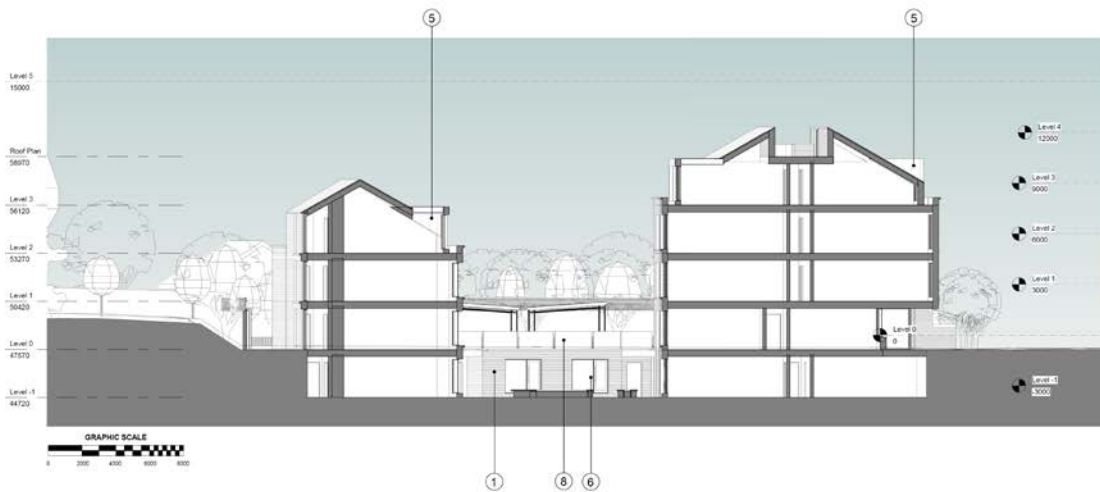
Site No: 42 Silver Street, Reading

Scale: 1:100 @ A1 Date: 06/12/17

Drawn by: PL_104

Checked by: B

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1 Section A - A
1 : 100

Notes

All dimensions given in millimetres unless stated otherwise. For dimensions to be checked on site refer to the scaled floor drawings. All dimensions to be checked on site refer to the finished floor level.

Any discrepancies between drawings and site conditions are to be reported to the architect immediately.

This drawing is to be used in conjunction with all relevant structural, mechanical, electrical, plumbing and fire safety drawings. Approval and coordination of this drawing and all other drawings is the sole responsibility of the architect and shall be used for construction without the written approval of the architect.



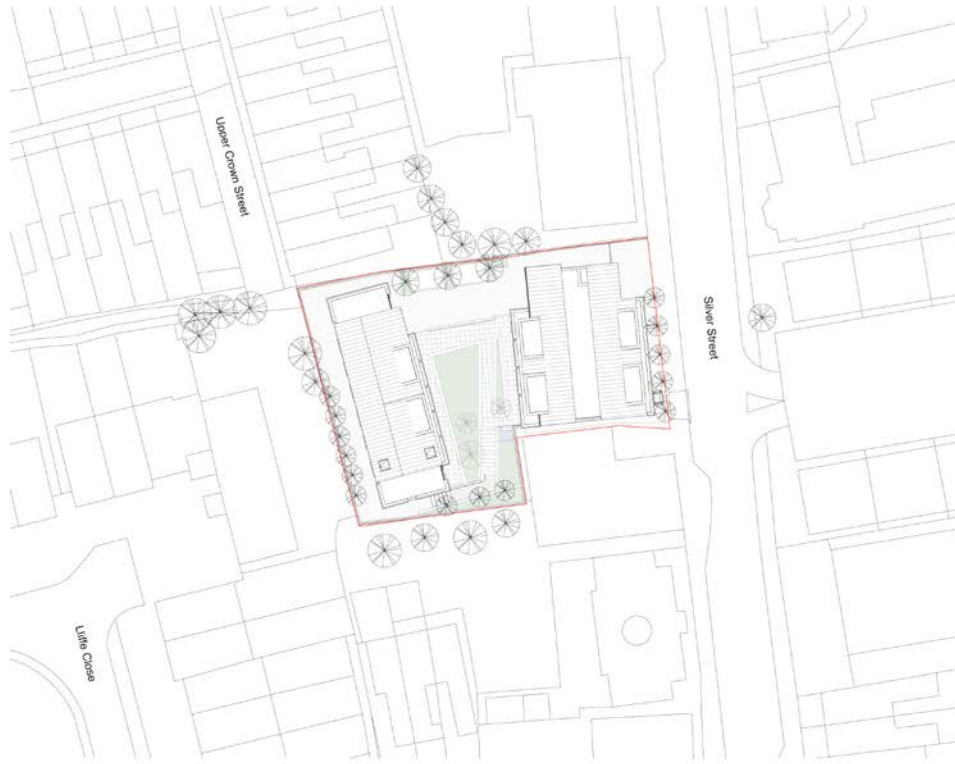
External Finishes

Ref.	Description
1.	Fair Faced Brick
2.	Feature Brick Panel
3.	Recessed Joint in Brick
4.	Brick Cill
5.	Standing Seam Zinc Roof
6.	PPC Aluminium Window
7.	PPC Aluminium Ventilation Louvre
8.	Glazed Balustrade

PLANNING

Ref.	Description	Area (sqm)	Volume (cu m)
1.	Open for development	28,127	0
2.	Residential	28,127	0
3.	Site	28,127	0

Section



Site Plan
1 : 200

Notes

All dimensions to be checked on site refer to the finished floor level.

Any discrepancies between drawings and site conditions are to be reported to the architect immediately.

This drawing is to be used in conjunction with all relevant structural, mechanical, electrical, plumbing and fire safety drawings. Approval and coordination of this drawing and all other drawings is the sole responsibility of the architect and shall be used for construction without the written approval of the architect.

PLANNING

Ref.	Description	Area (sqm)	Volume (cu m)
1.	Open for development	28,127	0
2.	Residential	28,127	0
3.	Site	28,127	0

Site Plan

Plot No.	40 Silver Street, Reading
Scale	1 : 200 @ A1
Drawn	10/04/17
Check	13/04/17
Rev. No.	PL_002

Site Plan

NORCOT

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 7th February 2018

ITEM NO. 12

Ward: Norcot

App No.: 171086/FUL

Address: Grovelands Baptist Church, 553 Oxford Road, Reading

Proposal: Demolition of existing church buildings and redevelopment of the site to provide a four storey mixed use development comprised of community halls and ancillary accommodation at ground floor level, car parking and 2x one bedroom flats and 10 x two bedroom flats at the upper levels.

Applicant: The Trustees of Reading Community Church (now known as 'The Gate')

Date application valid: 11th July 2017

Major Application 13 week target: 10th October 2017

Extended deadline: 28th February 2018

Planning Guarantee 26 week target: 9th January 2018

RECOMMENDATION

171086

REFUSE Full Planning Permission for the following reasons:

1. The design is not considered to provide a high quality replacement building which responds positively to the context and would not maintain and enhance the character and appearance of the area. Its height and massing are inappropriate within the area, overly dominant and overbearing, with a top-heavy appearance, alien features such as the open 'grid' façade, and a top floor considered too tall proportionally compared to the main façade contrary to policy CS7.
2. The proposed height and mass of the building along Wilson Road is considered overly dominant within the streetscene, and would not relate well to the neighbouring residential properties contrary to policy CS7.
3. The raised balconies and terraces at upper floors to the rear would cause overlooking and the perception of overlooking, and loss of privacy, for surrounding residential properties, and will introduce amenity space at a height uncharacteristic in this area contrary to policy DM4.
4. The rear facing windows within the projection closest to Wilson Road would cause overlooking and the perception of overlooking, and loss of privacy, for surrounding residential properties contrary to policy DM4.
5. By virtue of the unacceptability of the design and appearance of the replacement building, the proposed development has failed to justify the loss of the locally important historic building contrary to policy CS33.
6. In the absence of a completed legal agreement to secure contributions towards employment, skills and training, and securing affordable housing of an appropriate tenure, and 6 no. car parking spaces from the site at land between 2-4 Wilson Road, the proposal fails to contribute adequately to the housing needs of Reading Borough and the need to provide sustainable, inclusive mixed and balanced communities, contrary to policies CS15, DM6 and NPPF. Fails to provide adequate parking provision and therefore controls over the development's parking and highway impacts, contrary to policies CS20, CS24 and DM12. It also fails to adequately contribute to the employment, skills or training needs of local people with associated socioeconomic harm, contrary to policies CS3, CS9, DM3 and the Employment, Skills and Training SPD (2013).

INFORMATIVES TO INCLUDE

7. IF1 Positive and Proactive Working - refusal
8. Refused plans

1.0 INTRODUCTION

- 1.1 The application site (171086) is situated on the corner of Oxford Road and Wilson Road. The existing main chapel was built in 1899. A smaller hall is situated in the south east corner of the site with the remaining area comprising hardstanding used for car parking. The site area comprises 0.07 hectare.
- 1.2 The site is used by 'The Gate'¹ as a resource centre for hosting church groups and other events.



Photo taken from opposite side of Oxford Road of Wilson Road junction



Rear of the site

¹ Formerly known as Reading Community Church, formed in 2005 from the merger of two local Baptist Union affiliated churches, Tilehurst Free Church and Grovelands Christian Fellowship.



Rear elevation of church



Wilson Road site

- 1.3 The applicant submitted a further application at the same time for the land between 2-4 Wilson Road (171087), currently a piece of derelict land between the terraces on Wilson Road, sometimes used for parking by the Church (photo above). As this is proposed as the surrogate site for meeting the affordable housing provision of the Oxford Road site, it was originally intended and logical that the two be presented to committee together.
- 1.4 Given that the recommendation for the Oxford Road site is refusal, notwithstanding that officers consider that the Wilson Road site could be supported, with a recommendation for approval, as a Section 106 would need to include a clause linking the two site together, it was considered simpler to exclude determination of the Wilson Road site at this time and extend the period for determination for that application.
- 1.5 The surrounding area comprises a mix of commercial and residential properties. (Area edged red is 2-4 Wilson Road site 171087, and that edged blue the church site 171086).



2.0 PROPOSAL AND SUPPORTING INFORMATION

2.1 It is proposed to demolish the existing buildings on the church site and to replace it with a modern building with:

- A nursery for up to 26 no. 2-4 year olds run by a social enterprise arm of the church called 'Love Your Community'
- Community facilities on the ground floor comprising 3 no. meeting halls (one for use by the nursery during nursery hours), kitchen within the main foyer, 2 no, staff rooms and a manager's office
- Rear outside amenity space for the nursery.
- 2 no. 1 bedroom flats and 10 no. 2 bedroom flats over floors 1-3

First Floor

- Unit 1 - 2 bed - 72sqm
- Unit 2 - 1 bed - 58sqm
- Unit 3 - 2 bed - 76sqm
- Unit 4 - 2 bed - 80sqm
- Unit 5 - 2 bed - 76sqm

Second Floor

- Unit 6 - 2 bed - 72sqm
- Unit 7 - 1 bed - 58sqm
- Unit 8 - 2 bed - 76sqm
- Unit 9 - 2 bed - 80sqm
- Unit 10 - 2 bed - 76sqm

Third Floor

- Unit 11 - 2 bed - 100sqm
- Unit 12 - 2 bed - 100sqm

- 11 car parking spaces comprising 6 no. for community/nursery use, 3no. for use by 2 bedroom flats, and 2 no. disabled spaces, one for community/nursery use and one for 2 bedroom flat use.
- Cycle storage and bin storage.

2.2 The Wilson Road site (171087) is intended to provide the affordable housing provision, 1 no. 2 bed house and 2 no. 1 bed flats, and some of the parking provision (6 no. spaces) for the main site (171086) for the two bed flats.

- 2.3 The Planning Statement refers to the fact that the applicant now holds its church services at 384 The Meadway, located approximately 2km west of the application site. The applicant's aim is that a central core facility be provided on the Meadway site, with a sizeable community building planned for. The intention is that the application site would help fund such future proposals at the Meadway site, and the proposed scheme, along with providing housing, would also retain a community asset on Oxford Road.

Community Infrastructure Levy (CIL)

- 2.4 The proposed scheme would generate in the region of £125,000 (CIL), based on £147.29 (2018 indexed figure) per sqm of GIA, minus the area proposed to be demolished.

- 2.5 The following plans and supporting documents have been assessed:

Received 4th July 2017, unless otherwise indicated:

- Location Plan - Drawing no: 100
- Site Block Plan - Drawing no: 101
- Existing Site Plan and Floor Plans Survey - Drawing no: 120
- Existing Elevations Survey - Drawing no:130
- Proposed Elevations North and West - Drawing no: 160
- Proposed Elevations South and East - Drawing no: 161
- Ground Floor Plan as Proposed - Drawing no: 150
- First Floor Plan as Proposed - Drawing no:151
- Second Floor Plan as Proposed - Drawing no: 152
- Third Floor Plan as Proposed - Drawing no: 153
- Roof Plan as Proposed - Drawing no: 154
- Proposed 3D View at Junction of Wilson and Oxford Road - Drawing no: 140
- Proposed Surface Water Drainage Plan - Drawing no: 170

Amended received 30th August 2017:

- Ground Floor Plan as Proposed - Drawing no: 150A

Amended Received 13th November 2017:

- Site Block Plan - Drawing no: 101A
- Proposed Elevations North and West - Document no: 160B
- Proposed Elevations South and East - Document no: 161A
- Ground Floor Plan as Proposed - Drawing no: 150B
- First Floor Plan as Proposed - Drawing no: 151A
- Second Floor Plan as Proposed - Drawing no: 152A
- Third Floor Plan as Proposed - Drawing no: 153A
- Roof Plan as Proposed - Drawing no: 154A
- Proposed 3D View at Junction of Wilson and Oxford Road - Drawing no: 140B

Received 12th December 2017:

- Photo Montage options 1, 1a, 1b, 1c, 2, and 3

Amended Received 17th January 2018:

- Ground Floor Plan as Proposed - Drawing no: 150C

Other Documents received 4th July unless otherwise indicated:

- Affordable Housing Statement, prepared by CPL Chartered Architects
- Air Quality Assessment, Document ref: P2894.2.0., prepared by agb Environmental, dated 16th June 2017

- Bat Survey report, document ref: P2894.1.0, prepared by agb Environmental, dated 30th June 2017
- BREAAAM New Construction 2014 Pre-Assessment report, prepared by MES Building Solutions, dated 15th June 2017, received 11th July 2017
- CIL form
- Design and Access Statement, prepared by CPL Chartered Architects, dated June 2017
- Energy and Sustainability Statement, prepared by MES Building Solution, dated 22nd June 2017, received 11th July 2017
- Environmental Noise Assessment V1, document ref: M3956, prepared by Ian Sharland Ltd, dated 19th June
- Heritage Statement, prepared by CPL Chartered Architects
- Phase 1 Geoenvironmental Desk Study Report, document reference: 17.06-004, prepared by Listers Geo, dated June 2017
- Planning Statement, prepared by CPL Chartered Architects
- Proposed Surface Water Drainage Plan, document ref: RCC17/170, received 11th July 2017
- Transport Statement, document ref 8170569/MB/DW/002 Issue 1, prepared by Glanville, dated 20th June 2017

Amended received 17th January 2018:

- Transport Statement Addendum, Issue 1, prepared by Glanville, dated 16th January 2018

3.0 PLANNING HISTORY

3.1

06/00885/FUL (060558) - Rear extensions and alterations for church use - Approved 18/9/2006 - this allowed for alterations and extensions to the existing building in order to provide additional space to accommodate the existing congregation and its associated ministry, and to enable the church to increase the scope and range of its community facilities such as the youth programme, crèche and toddler facilities. The scheme involved subdividing the building internally to provide two additional floors and to also extend the building to the rear.

08/01571/PREAPP (081722) - Pre-application advice was sought in 2008 to demolish the existing structures and replace them with a new three-storey community facility together with three residential units to be occupied by people working in the community facility - Obs sent -23/12/08

An application was made to English Heritage at that time to list the existing church, but due to the significant alteration of the interior they concluded that it was not of “special interest at national level”, and did not meet the high threshold of national significance required for listing. However, they did comment that “the quality of the chapel’s exterior and the local standing of its architect give it considerable significance in the Reading context...”.

11/01189/FUL (111475) - Demolition of the existing church buildings, construction of a new 3 storey church building to accommodate worship/meeting rooms, offices, café and 2 retail outlets. Attached residential accommodation comprising 1x 1 bed and 1x 2 bed and 1x studio flat - Refused 19/10/11

This was considered by Planning Applications Committee in October 2011 and was refused planning permission for the following reasons:

- 1) *By virtue of the proposed footprint, height, massing and lack of set back from neighbouring properties the proposed development would appear cramped and overly dominant within the streetscene. The high eaves and vertical emphasis further result in the development sitting uncomfortably with the neighbouring properties and it is therefore considered a contrived and discordant feature within the street scene.*
- 2) *The proposed development will have an unacceptable overbearing impact on the neighbouring terrace at 543-551 Oxford Road and by virtue of the raised terrace will cause overlooking and a loss of privacy.*
- 3) *The layout fails to provide sufficient car parking spaces and does not therefore comply with the Local Planning Authority's standards in respect of vehicle parking. This could result in on-street parking/reversing movements on Wilson Road, adversely affecting road safety and the flow of traffic.*
- 4) *By virtue of the foregoing reasons for refusal, which find the design and appearance of the replacement buildings unacceptable the proposed development has failed to justify the loss of the locally important historic building.*
- 5) *The proposed development does not comply with the Local Planning Authority's standards in respect of secure cycle storage provision.*
- 6) *As a result of the proposed gates being set back just 3.5 metres from the boundary vehicles will have to wait in the carriageway which is unacceptable.*
- 7) *In the absence of a completed legal agreement to secure contributions towards transport (Reading Urban Area Package), local recreation/leisure and education infrastructure improvements and affordable housing the proposal fails to deal with its direct impact.*

12/01577/FUL (121716) - Demolition of the existing church buildings, construction of a new 3 storey church building to accommodate worship/meeting rooms, offices, café and 2 retail outlets. Attached residential accommodation comprising 1x 1 bed and 1x 2 bed and 1x studio flat (Resubmission of 11/01189/FUL) - Approved 8/4/13

This permission was subject to a S106 legal agreement, which included parking provision on the Wilson Road site.

160926/PREAPP - Mixed use community/commercial and residential development - Obs sent 19/5/16.

This pre-app was based on a proposal for shops, café, 3 meeting rooms, 1 bed flat at ground floor, 4 no. 2bed flats at first floor and 4 no. 2 bed flats and 1 no. 1 bed flat at second floor. This was to be the same footprint and identical elevations to the approved scheme (12/01577/FUL). This proposal included for Wilson Road to be for housing.

Advice provided was that the principle of the number of units would only be acceptable if there was clear justification and evidence for the significant reduction in the community benefits of the scheme; proposed parking provision would be well below council standards, and it was strongly advised that any scheme made use of the plot on Wilson Road for parking. It was advised that an approach to retaining and reusing some of the distinctive features of the church would be welcomed, as had been required under condition on the approved scheme (12/01577/FUL); an assessment of air and noise would be required as well as a bat survey.

4.0 CONSULTATIONS

(i) Statutory

4.1 None

(ii) Non-statutory

Ecology

4.2 The bat survey has been undertaken to an appropriate standard and concludes that the risk of bats being affected by the proposals is minimal. There are therefore no objections to this application on ecology grounds.

RBC - Environmental Protection and Nuisance

4.3 Noise impact on development - The noise assessment submitted shows that the recommended standard for internal noise can be met, if the recommendations from the assessment are incorporated into the design. Where opening of windows leads to an increase of the internal environment to unacceptable levels we recommend that mechanical ventilation with cool air bypass is installed (option iii of section 5.7 in acoustic assessment). It is recommended that a condition be attached to consent (implementation of approved noise mitigation scheme) to ensure that the glazing (and ventilation) recommendations of the noise assessment will be followed, or that alternative but equally or more effective glazing and ventilation will be used. See recommended condition below.

4.4 Noise between community centre and residential properties - sound insulation of any building - To protect future residents from excessive noise coming from the community centre the acoustic assessment (section 7.3) recommends that the floors between them are constructed to have 5dB better acoustic attenuation than the minimum allowed in building regulations. A condition is recommended

4.5 Noise generating development - Applications which include noise generating plant, when there are nearby noise sensitive receptors, should be accompanied by an acoustic assessment carried out in accordance with BS4142:2014 methodology. A condition is recommended.

4.6 Air Quality - The air quality assessment submitted with the application shows that pollution levels near to the development will be below national objective levels, therefore no mitigation has been recommended.

4.7 Contaminated Land - high risk sites - A phase I assessment submitted with the application recommends that a phase II intrusive site investigation is carried out due to the potential for contaminated land to be present at the site. A condition is recommended in order to ensure that these works are carried out.

4.8 Construction and demolition phases - We have concerns about potential noise, dust and bonfires associated with the construction (and demolition) of the proposed development and possible adverse impact on nearby residents (and businesses). Fires during construction and demolition can impact on air quality and cause harm to residential amenity. Burning of waste on site could be considered to be harmful to the aims of environmental sustainability. Conditions are recommended.

RBC - Natural Environment

4.9 There are no trees on site. The site's landscaping is currently confined to some poor quality 'hedging' along the Wilson Road boundary and scrub around the parking area at the rear. The site is situated in a 10% or less canopy cover area and on a 'treed corridor' as identified in our Tree Strategy. As such, any development should

be seeking to improve vegetation coverage on site, preferably with the inclusion of trees. The current proposal is contrary to this and removes existing vegetation with no space allocated for planting of any kind.

- 4.10 Consideration should be given as to how planting could be incorporated, particular on the Oxford Road frontage which is a primary route in/out of town, even if this is in planters. Without any landscaping proposed, the development cannot be supported in tree/landscape terms.

Planning Officer Note: Amended plans were submitted, which included planters to the Oxford Road and Wilson Road frontages, along with some planting within an extended nursery garden area. Further comments from the officer were as follows:

- 4.11 Tree planting would have been the preference but I understand the constraints. I note the planters now included which is a positive step and helps soften this site. Planting should include large evergreen shrubs. Conditions would be required to secure details of planting, and replacements should failures occur.

RBC - Transport

- 4.12 The original comments from the Transport Officer were as follows: A Transport Statement has been submitted to accompany this planning application and given the level of development this has been deemed appropriate, I comment on this as follows:

Access

- 4.13 The Oxford Road site will use the access arrangements that were accepted as part of the consented scheme which is in the form of a new 4.5m wide footway crossover sufficient for two-way movement and is deemed appropriate for this development. The existing footway crossover will be removed, and the footway brought up to full height.
- 4.14 The access provides a 2.4 x 25m visibility splay commensurate with a 20mph speed limit as set out in Manual for Streets. The drawings in Appendix C of the Transport Statement illustrate the visibility splay going through a wall, this has been checked and the elevations demonstrate this wall as 600mm high. This is an acceptable height and complies with policy but the height of the wall would be conditioned so that adequate visibility is retained.

Trip Rate and Traffic Generation

- 4.15 The applicant has used TRICS which is the national standard system of trip generation and analysis in the UK and Ireland, and is used as an integral and essential part of the Transport Assessment process. It is a database system, which allows its users to establish potential levels of trip generation for a wide range of development and location scenarios, and is widely used as part of the planning application process by both developer consultants and local authorities and is accepted by Inspectors as a valid way to ascertain likely trip generation.
- 4.16 The Oxford Road site is currently occupied by a church and therefore the net traffic generation of the proposals would be the traffic generated by the new development minus the traffic generated by the existing church. However to provide a robust assessment the following will simply consider the traffic predicted to be generated by the proposed development.
- 4.17 It has been noted that the community use has been based on a floor area of 107m² however following a review of the plan this has identified that the floor area for this

use would be 168m², inclusive of the café area. This is the maximum floor area that could be utilized during the peak periods given the provision of the nursery. It has also been noted that not all of the sites selected from TRICS are comparable in that they are provided with an increased parking provision. I have as a result undertaken my own assessment and this would reduce the level of trips compared to that presented by the applicant. As a result I am happy that the trip rates provided are a robust assessment.

- 4.18 The sites selected for the nursery use are not all representative of the application site but following my own assessment the results are similar and therefore I am happy to accept those submitted by the applicant.
- 4.19 The trip rates for the privately owned flats are acceptable and represent an accurate reflection of what level of traffic generation would be generated for that use.
- 4.20 The number of vehicle trips that would be generated in the peak hours would be approximately 15 in total. This is not a material increase and within the daily fluctuations on the network and given bullet point 3 of paragraph 32 of the NPPF which states proposals should only be refused on transport grounds if the residual cumulative impacts are severe, a refusal on traffic generation grounds would be hard to defend at an appeal.

Parking

- 4.21 The car and cycle parking standards relevant to the development are provided in Reading Borough Local Development Framework Revised Parking Standards and Design Supplementary Planning Document Final Adopted 31st October 2011.
- 4.22 The car parking standards adopt a zonal approach to parking provision. The development, which is the subject of this application, is located in Zone 2 Primary Core Area. The relevant car parking standards are reproduced below.

Table 1: RBC Car Parking Standards

Land Use	Standard
Housing	1 Per Unit (Required)
Community Use	1 Per 20 m ² (Maximum)
D1 Day Nurseries with Flexible Pick Up and Drop Off Time	1 Per 3 FTE Staff Plus (Maximum)

- 4.23 It has been stated that the above standards suggest that the development should provide the following car parking:
 - Residential: 16 car parking spaces
 - Community Hall: 5 car parking spaces, and
 - Nursery: 1 car parking space for staff and 2 for parents.
- 4.24 It should be noted that the proposals involve removal of the church use from the application site and relocation to a new site which would be the subject of a further planning application. However it has been noted within the Design and Access Statement at Paragraph 2.01 Community Use that it states the following:
- 4.25 The new development is comprised of community use at ground floor level measuring 372m² in gross internal floor area. This represents a nominal increase in

community space compared with the current building. And continues to state: *“The church has a history of engagement and partnership with a range of local initiatives and groups and intends to maintain such partnerships wherever possible. The design of the community space has a flexible layout, with sliding folding partitions, enabling the size of spaces to be controlled to suit end user needs. In addition to the three hall spaces, an entrance foyer/cafe area provides a welcoming main entrance/hub and is served by a kitchen.”*

- 4.26 Given that the hall has sliding doors to allow a flexible use of space which would increase the available floor level, albeit outside of the nursery hours of operation, it is possible that larger events could occur and therefore the parking assessment should take account of the full hall area calculated as 151m². This would equate to a provision of 8 spaces. It is noted that the site currently has 20 spaces allocated to it in the Wilson Road site.
- 4.27 The applicant has assessed how the parking for the community use could be provided and has stated that during the day, the users of the community hall would be permitted to use the resident’s parking spaces within the site, which would entirely meet the demand. However, there is no guarantee as to how much parking would be available and makes no allowance for weekend use when more residents would be home.
- 4.28 It has also been confirmed that in the evenings, the users of the community hall would be able to use the two spaces allocated to the nursery. This would leave a residual demand for six car parking spaces as identified above. It has been stated that this residual demand would be accommodated by the on-street parking bays on Oxford Road which are generally used to provide short term parking for the shops during the day but revert to uncontrolled parking after 6.30pm once the retail related parking demand has ceased. Visitors to the community hall arriving before 6.30pm would be able to use the residents parking bays on the surrounding roads, which allow parking for up to 2 hours until 8pm for non-residents to facilitate social and community use whilst not affecting resident ability to park overnight.
- 4.29 The existing use is provided with a provision of parking that complies with the Council’s parking standards but this development will remove the off street parking and further encourage the use of parking on street, which can be heavily used and has not been assessed to establish what level of parking would be available. Given that the church / community facility is currently provided with a parking provision that would meet its need the proposed development should include the provision of 8 dedicated on site spaces for the proposed community use.
- 4.30 One car parking space will be allocated for staff of the nursery in compliance with the Council’s standard and one space will be allocated for parents. The Council’s standard suggests that the nursery would generate the demand for two parent’s parking spaces to facilitate the drop off and pick up of children. The remaining demand for one parents’ drop off and pick up parking space would be met by the existing short term parking bays (max 30 minute stay) adjacent to the site on Oxford Road. This level of additional short term parking demand would not have a noticeable effect on parking supply and therefore has been deemed acceptable given that Wilson Road is one way restricting the direction of the onward journeys that would occur.
- 4.31 One car parking space will be allocated to each of the residential units in compliance with the Council’s standard. It is noted that three of the residential units within the Oxford Road site will have allocated parking spaces within the adjacent Wilson Road site and this is deemed acceptable. However, given the site

location and the surrounding parking restrictions I would be happy to accept a reduced residential provision to provide the requirement for community use parking. Also as stated in the Council's parking standards a development of more than 10 flats would be required to provide a visitor parking space however this has not been assessed.

- 4.32 The development site is located in an area designated as a Residents' Parking Permit Area. Under the Borough's current parking standards, this proposal would generate additional pressure for parking in the area. Therefore there should be an assumption that any future occupants of the flats will not be issued with resident parking permits.
- 4.33 The proposed car parking allocation for the site should therefore be reviewed.
- 4.34 The applicant has stated that the Council's cycle parking standards suggest that the development should provide the following cycle parking spaces:
- Residential: 10 cycle parking spaces
 - Community Hall: 2 cycle parking spaces, and
 - Nursery: 2 cycle parking spaces.
- 4.35 I can confirm that this does comply with policy in terms of the residential and nursery but as identified above the community hall is larger than assessed and therefore 3 cycle spaces are required. As a result the cycle parking provision must be increased.
- 4.36 The development provides 10 secure covered cycle parking spaces dedicated for the residential use within the Oxford Road site and four short term cycle parking spaces for the nursery and the community hall within the Wilson Road site. However, cycle parking for the community hall and nursery should be located on the Oxford Road site so that it is clear who this cycle parking is allocated to especially as the cycle parking on the Wilson Road site is located within the rear car park. This cycle parking should also be kept separate from the residential cycle parking for security reasons.
- 4.37 Revised plans should therefore be submitted with regards the car and cycle parking.
- 4.38 Refuse can be collected from Wilson Road with refuse collection areas located within 15m of the carriageway.
- 4.39 Please ask the applicant's agent to submit suitably amended plans to address the above issues prior to determining the application.
- 4.40 *Planning Officer note:* Following the submission of amended plans Transport provide further comments as follows:
- 4.41 The parking assessment should take account of the full hall area calculated as 145m². This would equate to a provision of 7 spaces.
- 4.42 Following discussions with the applicant it has been agreed that the parking allocation be revised to the following:
- 7 dedicated spaces for the community hall/nursery;
 - 1 space per unit for 11, two bed units i.e. 11 residential spaces; and
 - The remaining one-bed units would be car free.

This ensures that the parking for the community hall / nursery and the residential complies with Policy.

4.43 The Transport Addendum has stated that the development will provide the following cycle parking spaces:

- Oxford Road Site:
 - o Community use - 4 secure covered cycle parking spaces,
 - o Community use - 2 secure visitors cycle parking spaces,
 - o Residential use - 14 secure covered cycle parking space, and
- Wilson Road Site:
 - o Residential use - 6 secure covered cycle parking spaces.

The above provision is in excess of the Council's standards and therefore complies with Policy.

4.44 I have reviewed the layout plan and all of the cycle spaces are adequately located to serve the adjacent buildings. However the cycle store for the units on the first floor is too small to accommodate 5 bicycles and therefore the one along the southern boundary of the store should be removed. Given that cycle parking for the residential use is in excess of the required standard no replacement is required. I am however happy for this to be dealt with by way of a condition.

4.45 In the circumstances there are no objections subject to conditions and informatives: Construction Method Statement; Vehicle parking space provided in accordance with approved plans; Vehicle access provided in accordance with approved plans; Bicycle parking - plans to be approved; Bin storage; No entitlement to parking permits; Visibility splays before occupation.

(iii) Public/ local consultation and comments received

4.46 For 171086 notification letters were sent to 2-20 Wilson Road (even), 1c Wilson Road 543-555 Oxford Road (odd), 496-510 Oxford Road (even), 2-12 Wantage Road, 200 Norcot 500-5, 2-10 (evens) Wilson Road, 2-12 (evens) Wantage Road, 496 - 510 (evens) and 543 - 551 Oxford Road; a notice in the press and a site notice displayed. 39 responses were received, including 8 no. in support.

Comments for both applications are summarised as follows (full responses are available to view on line, via RBC website):

Parking issues

- It is suggested that car parking needs for the community hall and nursery will be met by the fact that residents will leave their car parking spaces empty during the day. The suggested plans for preventing car parking issues lack credibility.
- The provision for parking is woefully inadequate and naïve. The traffic survey does not even mention the impact of the school upon traffic. Parents of children at the nursery will want to park on Wilson Road at the same time as parents of children at the school. There are not enough spaces on residential roads for any overspill from the community centre of nursery
- Additional cars in an already overcrowded area.
- Not enough room for long-stay or short-stay parking.
- No enforcement on parking, so people already use the pavements as parking spaces. Building more houses will make this worse.
- The proposals for users of the community spaces to use bays on street on surrounding roads does not take account that these are already oversubscribed.

- Previous permission intended Wilson Road site to be for parking.
- Most nursery drop offs would be during peak hours; few would park on Oxford Road/ cross Oxford Road with babies.
- Wilson Road is a one way street, with a school on it, traffic and parking are a constant issues, this will only make it worse.
- A lot of people in a small space - unless flats will only be sold to those who commit to not owning a car.
- The applications ignore the former Elgee Plastics permission, which has no restriction of access to parking permits and will contribute to the parking pressure
- If permission were granted parking permits for residents should be prohibited.
- There would be less pressure on parking than in the previous application.
- Users of the community facilities will be local people who walk there or use the bus.
- The parking at the rear of Wilson Road includes a space at the back of no. 4 Wilson Road, which will detract from the use of that garden.

Design/ Loss of Building

- To demolish such a historically significant structure would be detrimental to the character of the surrounding area. English Heritage stated in their letter (3rd Dec 2009) that the *“Former Grovelands Chapel is a handsome and well-composed building...the quality of the chapel’s exterior and the local standing of it’s architect give it considerable significance in the Reading context.”* The redevelopment of the site should be respectful to this historical significance and the character of it brings to our local area.
- The building would have been listed had it not been for the loss of the internal features.
- The current building fits into its context of late Victorian and Edwardian neighbours and enhances the streetscape without unduly domination the surrounding houses. The proposal is out of scale and keeping with the character of the surrounding area.
- The proposed scheme is visually dominant and overbearing, particularly when considered from the context of the relationship with existing homes from the rear. It is too tall and taller than anything around.
- Such a shame to knock down a period building and replace with a modern glass box. It would be an eye-sore. It will change the whole appearance and character of the area.
- This current application lacks any features which could be regarded as an attempt to have a building of significance.
- The new building shows little care aesthetically for its local surroundings. Please don’t give up on this beautiful timeless beauty and replace it with a cramped monstrosity that will date in no time. Another building to be replaced with generic rubbish.
- The building overhangs/ dwarfs the neighbouring buildings
- This corner site is very visible, but whereas the existing building is landmark which sits comfortably in the streetscene, the proposed flats would be “in your face” for all the wrong reasons.
- The design compares unfavourably with the existing building’s architectural merits and is of traditional local materials. Incorporating a few red bricks does not make it “fit in”
- The previous proposal cannot be seen as a precedent for a box of flats.
- NPPF states that *“good design is a key aspect of sustainable development, is indivisible from good planning and should contribute positively to making*

places better for people." This aspiration does not seem to be fulfilled by the scheme.

- The proposed development would not outweigh the harm done resulting from the loss of the original church building.
- Would it not be valued to keep the exterior of the building, similar to Jacksons and convert the interior. The building can still be saved. Why not keep the façade and put flats inside?
- To demolish the building would be another act of vandalism that this council seem to revel in. Reading has a bad reputation for demolition and bad planning decisions. Make Reading aesthetic again.
- The current building could not have a better heritage with links to Brock Barracks, the Sutton family and Charles H Spurgeon the most prestigious Baptist preacher of the late 18th century.
- Urge the Council to put this under local listing.
- Wonderful idea to replace a tired old building.
- The provision of community space and housing is welcome, but it should be built in a style sympathetic to the majority of buildings. It would be good if we could retain some of the identity of the history of the site.

Overdevelopment/ Density

- The dwelling density is twice that defined in the Borough housing strategy, flats look cramped

Affordable housing

- The proposal does not address the significant shortage of affordable family dwellings in the area.
- Two family homes would be preferable.
- Applicant has failed to demonstrate why the housing mix should include a small two bed house with three flats which deviates from the properties on Wilson Road and RBC policies.
- If both sites are considered together, 16 units would require 5 affordable housing units to meet 30%.
- The site is overgrown and would be much better used for affordable housing.

Impact on residential amenity

- The raised outside space at the site boundary has a significant overbearing and dominant effect, as does the extension of the floor plan of the building bringing it significantly closer to existing properties and a full 2 storeys higher than the existing structure to the rear.
- There would be detriment to privacy and overlooking of existing residents from the terrace of unit 12, balcony of unit 10 and to a lesser degree unit7, which are oriented such that they overlook the private gardens of properties on Wantage and Wilson Roads, with no.2 Wantage Road the worst affected
- There is not enough outside space.
- Noise will be an issue.
- Height will reduce the amount of morning light that will reach 4-10 Wilson Ro\Ad and increase the likelihood of overlooking

Community Use

- As far as I am aware there is not a need for a community hub. The proposed nursery is way too small.
- In over 18 years of living close to the church there has been very little in the way of community usage. During the last application there was deliberate

inflation in the statements regarding what the church provided to the local community.

- It provides additional community space and will bring re-generation of this site. The facilities proposed are in keeping with the needs of the local area.
- The Oxford Road is in need of a community space, the proposal for a pre-school is also welcome in view of the Childcare sufficiency report produce by RBC which shows the lack of places for funded 2 year olds and 3 and 4 year olds.
- The church building is rarely used as it is in a poor conditions, so transforming into a multi-use community space is a great idea. I look forward to seeing it used in various ways for the community.
- The current application abandons the idea of a new church on this site and significantly reduces the amount of community space. The DAS states the church “has a history of engagement with local groups and intends to maintain such partnerships where possible” - A vey weak commitment. Is this likely to be sustainable if they are concentrating all their efforts elsewhere?
- To be a resource to the community that meets the needs of a growing and diverse population, the building is no longer fit for purpose. As the building has been declared not significant by English Heritage surely therefore the use of the building as a place to serve the community must be a priority for consideration. The increased cost of the work needing to be done to convert the existing building to make it fit for purpose makes the project non-viable for the church. The proposals allow for a multi-use facility that meets the needs of all abilities and rooms that can be used for a variety of purposes. The building is underused due to its limitations.
- The community work carried out by this church, particularly for children and young people is immensely beneficial. The work would be enhanced by larger and more suitable premises.

Infrastructure

- Existing schools and doctors surgeries are already overcrowded.
- The development on Wilson Road for affordable housing for the church site would only exacerbate the existing problems of infrastructure provision.

Other

- If the church needs money why not use the space for promote community events that will bring in money as well as bring the community together rather than attracting more people, cars and potential problems.
- The area does not need more flats, but larger family homes with outside play spaces.
- Would challenge the view that “*it is clear that the principle of development on Oxford Road site has already been established.*” Just because one application has been accepted does not mean further ones should be.
- Salami tactics are being employed. Nothing has materially changed in the area to suggest that a higher density development is required or desirable and infact the situation has worsened [since the previous permission] with increased foot and road traffic due to the doubling of Wilson Primary School.
- The fabric of the church is in good repair where it has been maintained. There have been repeated periods of neglect and bare minimum maintenance when previous applications failed.
- There is no evidence to suggest that the development is being treated as anything other than a cash cow to fund the real aim of the developers which is to build a new church at the Meadway. This accounts for the increasing amount of residential in each subsequent application. Surely if the church are looking to develop this site to benefit the local community considerations should be made regarding the local parishioners and resident requirements. Their primary

concern is to provide sufficient funds to improve their church provision in a different community area, not locally to this church.

- I question the motives and community-mindedness of an organisation that professes to value their connection with an area, only to let an important building in their care go to ruin.
- Building flats will add to the much needed additional housing in Reading.
- The site notice has not had a date on it since it was put up, and ask you extend the period for consultation - *officer note: additional sites notices were put up following this comment.*

5.0 RELEVANT PLANNING POLICY AND GUIDANCE

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise.

National Planning Policy Framework (NPPF)
Planning Policy Statement 5 (PPS5) Practice Guide: 'Historic Environment Planning Practice Guide'

Reading Borough Local Development Framework - Core Strategy (2008, altered 2015)

CS1 (Sustainable Construction and Design)
CS3 (Social Inclusion and Diversity)
CS4 (Accessibility and Intensity of Development)
CS7 (Design and the public realm)
CS9 (Infrastructure, Services, Resources & Amenities)
CS14 (Provision of Housing)
CS15 (Location, Accessibility, Density and Housing Mix)
CS20 (Implementation of Reading's Transport Strategy)
CS24 (Car/Cycle Parking)
CS31 (Additional and Existing Community Facilities)
CS33 (Protection and Enhancement of the Historic Environment)
CS34 (Pollution and Water Resources)
CS36 (Biodiversity and Geology)

Reading Borough Local Development Framework - Sites and Detailed Policies Document (2008, altered 2015)

Policy SD1 (Presumption in Favour of Sustainable Development)
Policy DM1 (Adaption to Climate Change)
Policy DM3 (Infrastructure)
Policy DM4 (Safeguarding Amenity)
Policy DM6 (Affordable Housing)
Policy DM10 (Private and Communal Outdoor Space)
Policy DM12 (Access, Traffic and Highway-Related Matters)
Policy DM19 (Air Quality)

Supplementary Planning Guidance/Documents

Revised Parking Standards and Design (2011)
Revised Sustainable Design and Construction (2011)
Affordable Housing (2013)
Planning Obligations under S106 (2015)
Employment, Skills and Training (2013)

Other Documents

Berkshire (including South Bucks Strategic Housing Market Assessment) Berkshire Authorities and Thames Valley Local Enterprise Partnership, Final Report, February 2016, prepared by G. L. Hearn

Technical Housing Standards - Nationally Described Space Standards (2015), DCLG

6.0 APPRAISAL

Main considerations:

The main issues to be considered are:

- i) Principle of Uses
- ii) Design and Appearance
- iii) Loss of the Heritage Asset
- iv) Density and Mix of Housing
- v) Residential Amenity
- vi) Transport Issues
- vii) Environmental Matters
- viii) Sustainability
- ix) Section 106

(i) Principle of Uses

6.1 The principle of the proposed uses for the site, community and residential are considered acceptable.

6.2 The ground floor of the church is currently in use as a community facility used for small church meetings, church socials and the occasional leader's conference, and the proposed would be for a new community facility of 372m² in gross internal floor area. This is a slight increase in community space compared to the existing, and the Design and Access Statement states that "*The design of the community space has a flexible layout, with sliding folding partitions, enabling the size of spaces to be controlled to suit end user needs. In addition to the three hall spaces, an entrance foyer/cafe area provides a welcoming main entrance/hub and is served by a kitchen.*" The community use is therefore considered to meet policy requirements under policy CS31.

6.3 In terms of the proposed flats, the provision of housing would accord with policy CS14. It is a sustainable location well served by a choice of means of travel with much pedestrian and bus traffic along Oxford Road.

6.4 However, the proposal also needs to satisfy other policy considerations related to design, in the context of the loss of a heritage asset, traffic, mix, affordable housing, and infrastructure requirements, which are discussed below.

(ii) Design and Appearance

6.5 The NPPF and policy CS7 of the LDF Core Strategy seek to ensure that new developments are of a high standard of design that maintain and enhance the character and appearance of the area within which they are located. The existing structure is considered to be a distinctive landmark along the Oxford Road when seen from the west and from Wilson Road as a result of its set back from the southern boundary. The red brick construction is in keeping with other buildings in the surrounding area including Brock Barracks. This view is supported by responses from residents, ward councillors and the Reading Civic Society.

- 6.6 The existing building has a 2 storey ground floor space with eaves at 5 metres high in line with the top of the first floor windows of adjoining properties on Oxford Road. The roof is steeply pitched with a maximum height of 11.8 metres, just over 2m higher than the adjacent terrace. The appearance of the building is dominated by its roofscape.
- 6.7 The existing building is in line with the adjacent terrace of shops, save for a small projection of the gable feature and bell tower and the low railings which wrap round the site along Oxford Road and Wilson Road.
- 6.8 Although the proposed building would, in overall height terms, be slightly lower than the existing church, it would introduce mass at the second and third floor levels. This would be in stark contrast to the adjacent buildings, where at second floor there is a pitched roof with small dormers set within it. The proposed building would bring the whole form forward at second floor and introduce a new third floor, which although recessed, appears incongruous in the street scene, especially when combined with the use of vertical zinc cladding at this level.



Original submission - Oxford Road elevation

- 6.9 The DRP were consulted and their full comments are included at Appendix 1. With respect to this main façade they commented:
- “The panel do not agree that in its current form the use of a fully glazed ground floor is the best or right architectural response” and “that massing and design shown in the main building elevates the heavy elements of residential above a plinth of glazing, this creates a top heavy scheme with no clear grounding, something which is not seen contextually in the streetscape. More thought needs to be applied to how the mass and weight of materiality is brought into the scheme...”.*
- 6.10 The DRP also commented that *“ very little detail was provided on the topmost element, and although a dark metallic finish was assumed for this part, the justification for its use was unexplained. Furthermore the Panel is concerned by this element’s relationship with the adjoining properties on the Oxford Road ..work would need to be done to ensure that this was not a failure when viewed along Oxford Road.”*
- 6.11 The applicant responded with some amended elevations to show brick columns to provide *“architectural linkage between the ground and upper floors”*. Although considered an improvement by the officer, the remainder of the design largely remained as originally submitted. The Design Review Panel provided further

comment and stated that *“The Panel do not consider that the massing proposed is appropriate for the site. The existing building whilst of similar height to the proposed at its ridge, features a steep pitch that aligns well with both the streetscape and the neighbouring buildings. Further to this the elevations need considerable work. The open ‘grid’ approach is foreign to the context, glazed balconies will display all the detritus stored on them and the very top floor is too tall proportionally vs the main part of the façade.”*



Amended elevation to Oxford Road

- 6.12 With respect to the building as it wraps round the corner into Wilson Road the proposed scheme extends further than the existing main rear church façade and beyond what was approved previously. It would be partly four storeys (penthouse), but mostly 3 storeys in height. Issues were raised with a previous refused scheme that the building mass was too bulky. Similar comments were provided by officers on the application scheme and advice that it needed to be reduced and be more domestic in scale.
- 6.13 The applicant’s amendments (November 2017) included slightly reducing the depth of this section, so that the development would be 6m from the boundary with the plot to the south (former Elgee Plastics), although still larger in depth than the previous approved scheme, but with no reduction in height. The applicant was advised that this was still considered to be too dominant a form and not providing a suitable transition along Wilson Road with existing residential properties.
- 6.14 The previous approved scheme had an angled corner to Oxford Road/ Wilson Road, such that it would not be read as part of the terrace, and thus would achieve prominence. The proposed scheme includes balconies at the corner, but these follow the line of the building, and are not considered to provide any prominence, indeed the DRP commented that *“the set back balconies ...are lost in definition and provide a poor quality of space for the user”*. An image of a suggested option for an alternative balcony treatment to the corner was provided in December 2012, as shown below, where the balcony frontage projects slightly beyond the brick façade. Officers do not consider that this would represent a significant enhancement to the original submission.



- 6.15 Concerns were raised by officers regarding the original large first floor communal amenity space, which extended almost to the boundary with the former Elgee Plastics site to the north. Not only was this considered to create too much bulk/overdevelopment of the site, but a negative effect on the amenity space proposed below it, to serve the nursery. In addition there was a lack of clarity as to how this space would be managed when it was intended to be shared space between the nursery and residents, as well as concern regarding impacts on residential amenity of existing and proposed residents.
- 6.16 The amended scheme removed this communal space, and further to officer comments regarding issues of rear balconies at first, second and third floor levels, some of which were adjacent or very close to boundaries with surrounding properties, amendments were made as follows:
- Balcony to Units 5 & 10 were reduced in depth and pulled off the boundary with no. 551 Oxford Road
 - Balcony to Units 1 & 6 moved to Wilson Road elevation
 - Terrace to Unit 12 moved off the boundary to no. 551 Oxford Road.
- 6.17 The changes to units 5, 1 and 6 are considered to be an improvement. However, the balcony to unit 10 at second floor and the terrace to the penthouse unit 12 at third floor would enable far reaching views over neighbouring gardens and properties, which would be unacceptable and would conflict with Policy DM4.
- 6.18 In terms of materials, brickwork played a minor part in the original scheme and the DRP commented that this was *“lost as most elements of the façade are glazed or coloured opaque panels with a glazing system set subserviently to the brick. The set back does apply more emphasis of the brickwork, but there does need to be re-balancing of the materials to create a joined up façade”*. Amended options of materials have been submitted, which introduces more brick. However, this would need to be revisited in the context of an acceptable overall design.
- 6.19 The amended scheme includes for planters to the Oxford Road and Wilson Road frontages, along with a larger area of garden at the rear, to serve the nursery. The Natural Environment Officer has confirmed that the principles of these would be acceptable subject to securing details through condition.
- (iii) Loss of the Heritage Asset
- 6.20 Although the building is not nationally listed, as set out above and in previous committee reports, the building constitutes an undesignated heritage asset as *“the*

quality of the chapel's exterior and the local standing of its architect give it considerable significance in the Reading context".

- 6.21 As was the case when the previous scheme was considered the applicant's position is that a new building would make more efficient use of the site and would be more cost effective than attempting to refurbish and extend the existing building, which they consider is not energy efficient, with a roof in a relatively poor state of repair.
- 6.22 The position at the time of considering the previous application, and still the held view of officers, is that the existing main building does have a landmark quality. The officer has made it clear through the course of the application and in pre-application advice that in order to justify the building's replacement any new building would need to be of high design quality that maintains a landmark/ feature quality while successfully integrating with the streetscene. This was a key consideration during the course of the previous application, and remains so.
- 6.23 The existing building, although significantly different to the neighbouring buildings, is not considered harmful to the character of the street; it is prominent and achieves landmark status, but is considered to fit into its context and enhances the streetscape without dominating the neighbouring properties. The applicant's own Heritage Statement states that the building is considered to be *"handsome and well composed and of good quality design"*. This is not considered to be the case for the proposed scheme. The proposed façade and mass have a poor relationship to the existing buildings and it is considered to be overly dominant and overbearing, and out of scale and character with the surrounding area.
- 6.24 In addition during the course of the application the Design Review Panel were consulted. They provided a range of advice as to how the proposed scheme could be improved, but their fundamental comment was that *"changes required for the scheme to ascertain landmark status are terminal to the current scheme and therefore a full re-design is required."*
- 6.25 With regard to undesignated heritage assets there is a presumption in policy terms in favour of their conservation and their loss requires appropriate and proportionate justification. With respect to the previous approved scheme (12/01577/FUL) the design, materials and the overall community use focus were considered sufficient to outweigh the harm resulting from the loss of the existing building. However, this proposal, albeit retaining some community use on the ground floor in a purpose built facility, represents a significantly smaller amount of overall community use, as compared to the previous scheme, with the predominant use as residential. This combined with the design, are not considered sufficient to justify the loss of the existing building as part of this proposal.
- 6.26 It is understood that the applicant's requirements have changed since the 2012 permission and that their focus is on their other site at the Meadway to provide an enhanced church and community facility, which they state will provide significant benefits to the community. However, the position remains that this is some distance from the Oxford Road site and the consideration of this application needs to be with regard to its local context and local community. The need to provide funds for the other site is not an overriding factor in consideration of the Oxford Road site.
- (iv) Density and Mix of Housing
- 6.27 Policy CS15 states that density and mix of residential development within the Borough includes being informed by an assessment of the characteristics of the area in which it is located and its current and future level of accessibility. It goes on to

state that developments should provide an appropriate range of housing opportunities in terms of a mix of housing types, sizes and tenures, in accordance with the findings of a housing market assessment. The mix of dwellings should include an appropriate proportion of units designed to the Lifetime Homes standard.

- 6.28 The most recent SHMA states that the focus for new market housing provision will be on two and three bedroom properties. The application site is in a highly accessible location and there is a mix of units in the locality. The proposal has a density of 146 dwellings per ha, which is akin to town centre density. As a corner site, which can have some prominence, and in a district centre, and to make effective use of the site a higher density is considered acceptable. In this instance the proposal is predominantly for two bedroom flats (10 of the 12 proposed), providing the potential of family accommodation and to Lifetime Home standards. The proposed density is considered acceptable, but there are other areas of policy with which the scheme does not accord, including massing/height and to comply with these would be likely to require the reduction of the overall numbers of units.

(v) Residential Amenity

- 6.29 The original submission included for large communal spaces (including shared with the nursery), terraces and balconies at upper floors. As described above these would have a detrimental effect on the privacy of neighbouring properties from overlooking. A number of changes were sought and some of the amendments described in para 6.16 have improved the relationship of these to neighbouring properties. There are however, still concerns with the penthouse terrace at third floor and balcony at second floor, which would be contrary to Policy DM4.
- 6.30 With regard to rear facing windows for Units 5 and 10 these are at 18m to the boundary with the rear garden of the approved houses (under ref: 160180), which although would afford some views over the garden are considered to be of sufficient distance to not have significant detrimental effect on overlooking and loss of privacy.
- 6.31 The projection along Wilson Road, which includes Units 1 & 6, have south facing windows at minimum of 6m from the side elevation of the approved houses on Wilson Road. Although the approved scheme on the adjacent site has no windows, due to the proximity of the proposed windows and the height it is considered that there would be some loss of privacy from overlooking into neighbouring gardens. As referred to above this is part of the proposed scheme where the massing is considered inappropriate and would be overbearing.
- 6.32 Proposed room sizes and overall flat dimensions would exceed National Space Standards (DCLG).
- 6.33 The amenity spaces provided by balconies and terraces would meet the requirements of Policy DM10

(vi) Transport Issues

- 6.34 In contrast to the previous approved scheme (12/01577), which was largely community use the current proposal includes for largely residential use. During the course of the application the Transport team liaised with the applicant to secure an amended layout and number of spaces to serve the proposed scheme and the Wilson Road site.

- 6.35 Transport has confirmed that with regard to transport the scheme is acceptable subject to a number of conditions including prohibition of entitlement to parking permits for surrounding streets. The amended scheme, for the Oxford Road and Wilson Road sites combined, provides for:
- 7 dedicated spaces for the community hall/nursery;
 - 1 space per unit for 11, two bed units i.e. 11 residential spaces; and
 - The remaining one-bed units would be car free.
- 6.36 Some of the residential spaces for Oxford Road would be provided as part of the Wilson Road site.
- 6.37 The proposal would satisfy the requirements of Policy CS24, and DM12.
- (vii) Environmental Matters
- 6.38 With regard to air quality the submitted Air Quality Assessment identifies that the impacts due to emissions from local road traffic on the air quality for proposed residents are shown to be acceptable at the worst-case locations assessed, with concentrations being below the air quality objectives at all of the receptors. No mitigation is therefore proposed. This has been confirmed as acceptably by the Environmental Protection and Nuisance Officer.
- 6.39 In terms of noise, a detailed assessment was submitted, and the officer has confirmed that subject to suitable conditions the proposal would be acceptable in this regard.
- 6.40 The proposed scheme is therefore considered to accord with policies CS34 and DM19.
- (viii) Sustainability
- 6.41 Policy CS1 (Sustainable Construction and Design) and the Council's SPD 'Sustainable Design and Construction' sets out the policy position with regards to sustainability. It applies to proposals for new development, including the construction of new buildings and the redevelopment and refurbishment of existing building stock, depending on the extent of the alterations to a building.
- 6.42 The applicant has submitted a BREEAM pre-assessment report demonstrating that community provision could meet BREEAM score of 60.4% (Very Good), which accords with Policy CS1.
- 6.43 A number of sustainable construction strategies are proposed to be incorporated into the design and construction including minimum standards relating to energy and water use. The proposed approach would be a fabric first approach which ensures an energy efficient building that is not totally reliant on renewable energy to achieve a reduction in emission in accordance with requirements of policies CS1 and CS2 The Energy and Sustainability Statement identifies a reduction in emissions (when compared to a Building Regulations baseline) of 22%. Solar panels are also proposed, and these also show a reduction in CO2 of 22%.
- (ix) Section 106
- 6.44 The affordable housing provision for the main site is proposed to be provided for by the development on the Wilson Road site (171087), which as described earlier in this report has been found to be broadly compliant with policy and subject to resolving issues of tenure could be supported. Having a surrogate site is an acceptable approach and would need to be linked to the main site through a Section 106 legal

agreement. The 4 units proposed would meet the requirements of Policy DM6, i.e. 30% of the units.

- 6.45 With regard to tenure the applicant is currently offering 100% of the units as shared ownership. Officers have advised the applicant that the units should include some for affordable rent. The applicant has identified that due to viability issues that this would not be possible. Discussion with the applicant on this matter is ongoing.
- 6.46 Affordable housing policy seeks that affordable housing mix should reflect what would have been provided within the main site. A 2x bed house and 3x1 bed flats is reflective of the main site. Although larger properties would be welcomed this has been balanced against the site providing a policy compliant number of units and making efficient use of the site.
- 6.47 The applicant would be expected to make contributions in line with the requirements of policy CS9, DM3 and the Employment, Skills and Training SPD. The applicant has stated in the Planning Statement that *"it is requested that in determining the level of contribution required, the council considers the considerable community benefit that this development will provide..."*. However, no proposed figure in accordance with policy has been presented. This is contrary to policy and no specific viability assessment has been submitted.
- (x) Equality
- 6.48 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sexual orientation.
- 6.49 The proposals would allow improved access for disabled members of the community and would be lifetime homes compliant. It would also improve access for parents and children to nursery facilities. It would provide disabled parking spaces. Otherwise, there is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application.
- 6.50 In terms of the key equalities protected characteristics, it is considered there would be no significant adverse impacts as a result of the development.

7.0 CONCLUSION

- 7.1 During the course of the application officers have worked positively and proactively with the applicant to overcome the issues raised above. However, it has not been possible to resolve all matters within the context of the existing scheme and is therefore recommended for refusal. This is on the grounds of loss of a distinctive building, with a design, which is not considered to be of high quality which responds positively to its local context. It would have a mass and height which would be overbearing and would give rise to detrimental effects on residential amenity, contrary to relevant policies.

Case Officer: Alison Amoah

APPENDIX 1: DESIGN REVIEW PANEL COMMENTS

Reading Design Review Panel Comments

Application No. 171086

Listed Building: Yes/No
 Conservation Area: Yes/No

Proposal: Demolition of existing church buildings and redevelopment of the site to provide a four storey mixed use development comprised of community halls and ancillary accommodation at ground floor level, car parking and 2 x one bedroom flats and 10 x two bedroom flats at the upper floor levels.

Location: Grovelands Baptist Church Oxford Road, Reading, RG30 1HJ

Site	Building	Sustainability	Detailing	Design Approach
Layout - Urban Structure & Grain	Layout – Density & mix	Energy	Craftsmanship	Response to context
Character of area	Scale	Materials	Functional	Legibility
Quality of public realm	Massing	Water	Longevity	Innovation
Landscape - continuity & enclosure	Appearance	Access	Weathering	
Orientation	Function	Health	Structurally honest	
Vehicle circulation	Outlook	Waste	Historically correct	
Pedestrian routes	Legibility	Reuse		
	Adaptability	Inclusivity		

Site

The sites are located on the South side of the Oxford Road, on the junction with Wilson Road. The primary site is a large redundant church set in a corner position, and the secondary site is a cleared site, best described as a negative space in the terraced urban form of Wilson Road.

Both boundaries face onto a mix of residential, commercial, busy arterial road and the Oxford Road retail areas.

General scale of the surrounding buildings is low rise 2-3 storey buildings mainly formed of residential terraced housing. The exception to the rule is the larger, civic and community buildings such as those outlined in the applicants D&A.

The general street plan is well defined, terraced 'grid' like layouts, where corner buildings provide a key role to the formation and definition of the streetscape and urban rationale.

Generally the site / sites are level in topography. Both sites are overlooked by residential but this is symptomatic with the typology of the surrounding residential urban grain and this should be understood through good design rather than seen as an overbearing constraining feature of the sites.

The panel agree with the applicants view on the key nature of the primary site both architecturally and socially. This therefore automatically and logically applies further weight to requirements of good, quality design on the applicant's primary site.

Building

The building as currently proposed by the applicant is a ¼ community use and ¾ residential use on the main site with the secondary site being 100% residential. Therefore the development is a residential led scheme with an aspect of community use.

The mix of residential units is weighted towards 2bed family apartments, which is welcomed and supported by the panel.

The community use will include bookable 'open use' spaces along with a small nursery and associated outdoor space split between ground and first.

Overall the two uses in the main building can sit well together - in theory – if well designed, and spaces / uses are clearly defined.

This is however where the current scheme starts to fall apart, for the following reasons –

- The nursery at ground is currently squeezed to the rear of the site where access to the nursery is ill defined and exhaustive. Outside play space is a defined requirement of this use, and to comply, these areas are split between a partly undercroft'ed soft play space and a further, larger first floor outdoor play space accessible by an external open stair, or by entering the residential use and utilising the private residential core to gain access. This is not a good option in the panels view and it will have a clear effect on the marketability and price of the apartments in the rest of the build, not to mention security and definition of space and use.
- The current design shows a 100% glazed ground floor façade where children and potentially sensitive uses could be carried out. We do encourage the use of glazing at the ground floor to carry on the context of the surrounding uses, but some control via a revised façade design needs to be applied to this element in particular taking more of lead from the neighbouring shops where glazing is punctuated by ownership boundaries and structure.
- The panel do not agree that in its current form the use of a fully glazed ground floor is the best or right architectural response, and would request that the applicant explore a clearer, more legible architecture that ties the two uses in the building together to form a holistic approach to the design, rather than trying to apply a clear definition between the two. This revision needs to follow a logical and contextual path where the architecture of the building both responds and enhances the street scene and provides a building of true architectural merit.
- The two uses generate a parking requirement and also a servicing requirement on the site. It is abundantly clear to the panel that this requirement is a driving force that has played too much of a role in the design, layout, and form of both sites. The panel have requested that the council's Highways officer makes contact with the applicant's team to look at the policy set against this site and where things can be relaxed due to the site specifics. The panel expect that this could help reduce parking on site and help both sites reach a better architectural outcome.
- The massing and design shown in the main building elevates the heavy elements of the residential above a plinth of glazing, this creates a top heavy scheme with no clear grounding, something which is not seen contextually in the street scape. More thought needs to be applied to how the mass and weight of materiality is brought into the scheme, how they can help ground the building and how these elements can provide an answer to controlling ground floor uses and views, whilst keeping flexibility internally.
- Overlooking of the proposed site (as described before) is systematic of the area, however the panel does not feel that the internal overlooking within the site its self is fully acceptable given the sensitive uses applied to the external spaces. Again, this needs to be fully understood and views must be especially considered where children at play can be overlooked from new residential properties.
- The secondary site which is seen to provide 100% social housing is somewhat of an oddity and seems to be wholly driven by parking and overspill parking from the larger neighbouring site. The panel welcomes the approach of the applicant in providing proper homes for the social housing aspect of the proposal and this typology should be followed through to the other parts of the site to enable the site to sit better contextually. The panel is sure the council would much rather have 3 (potentially 3 bed) houses rather than the current mix of a 2 bed house, 2bed apartments and 1 bed apartment, this approach should be discussed with the council's housing officer. Again further talks with the council's transport officer should help with the viability of the above.
- A potential fix for the site could be sought by following the design approach found at 65-79 Elm Park Road Reading RG30 2TP - where the continuation of the terrace is carried through whilst allowing access to parking at the rear via a 3m width one way access road in a classic 'yard terrace' approach which is also found at 49-51 George Street, Reading.

<p>Sustainability</p>
<p>It was noted in the applicant's presentation that the design approach would be a fabric first approach and would look to comply with lifetime homes, the requirements of building regulations and Reading's own requirements on sustainability.</p> <p>The panel both welcomes and supports this approach.</p>
<p>Detailing</p>
<p>The detailing provided in the application pack shows some thought has been applied to finding contextual relevance in terms of materiality, this is welcomed by the panel and the panel like the images referenced in the D&A showing a more contemporary bond to the brickwork.</p> <p>This brickwork however plays a minor part in the scheme and becomes lost as most elements of the facade are glazed or coloured opaque panels within a glazing system set subserviently to the brick. This set back does apply more emphasis on the brickwork but there does need to be a re-balancing of the materials to create a joined-up façade design.</p> <p>The removal of mass to the corner element at high level provides some relief in the façade and does encourage a turn in the façade down Wilson Road. However, further set back balconies along the Oxford Road elevations are lost in definition and provide a poor quality of space for the user. Furthermore, the balconies to the rear will protrude outwards from the rear façade, enabling views into neighbouring properties and uses which may prove an issue in policy terms. The inclusion of balconies may, in this instance, be seen as a negative, unless a holistic re-design is taken to the façade and layout design enabling better integration and relationships between the inside and out.</p> <p>Very little detail was provided on the topmost element, and although a dark metallic finish was assumed for this part, the justification for its use was unexplained. Furthermore, the panel is concerned by this element's relationship with the adjoining properties on the Oxford Road, we felt this had not been considered and work would need to be done to ensure that this was not a failure when viewed along Oxford Road.</p> <p>The ground floor glazing – as discussed in previous points needs more refinement and detailing, and some justification is required for the use of the white structural pillars utilised along the main façade.</p> <p>Parking and layout of the internal circulation needs more thought as currently the mix of uses do not sit well together and exiting a building directly into a car park access road is not the safest way to exit or approach a building.</p>
<p>Design Approach</p>
<p>This element was distinctly lacking in the presentation where all description and concept work was not touched on. The sketches shown seem to be reverse engineered from the final product in an aim to show design development. The panel hope this is not the case but the lack of contextual input in the D&A and presentation seem to suggest a justification of the final design rather than that of an exploratory and contextual approach to the design.</p>

Any further comments

The panel fully appreciate the applicants willingness to bring the proposals to a design review and the overall reasoning for the building and generation of revenue for a larger community facility (although some way from this site) is a great supporting argument for the redevelopment of the site. This however does not heal all concerns.

The planning team at Reading council asked the panel a simple question in their briefing, and this was –

The officer is seeking the Panel's view on whether the design achieves a landmark status presently. If not whether there are changes which could be made within the context of the existing design, or whether a further complete review of the design would be required.

Firstly the review panel debated the merits of the current designs 'landmark status' and the outcome was that in its current design the development fell short of this status by some margin.

Secondly we discussed at length the final point - "are changes which could be made within the context of the existing design, or whether a further complete review of the design would be required." This is harder to answer as the re-design of the building can be seen (if too far removed from the original application) to be a material change to the original application – especially where the mix, overall GIA and ratios of the uses involved in the original application are changed.

Taking this into account and our comments above we are of the opinion that the changes required for the scheme to ascertain the 'landmark status' are terminal to the current scheme and therefore a full re-design is required. But it is the council's planning team which can only, ultimately make the decision on the acceptance of a full revision on the current application; or if a new, full application is required.

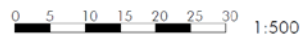
APPENDIX 2: PLANS AND ELEVATIONS

Oxford Road - 171086



EXISTING CHURCH
DASH-ED

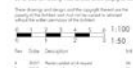
EXISTING HALL
DASH-ED



7/11/17 REV A Updated following LA comments

date: JUN 17
 scale: 1:500
 sheet: DA
 project name: 553 OXFORD ROAD READING MIXED USED DEVELOPMENT
 drawing title: SITE BLOCK PLAN

project number: RCC.17
 drawing number: /101A



1:100
 1:500

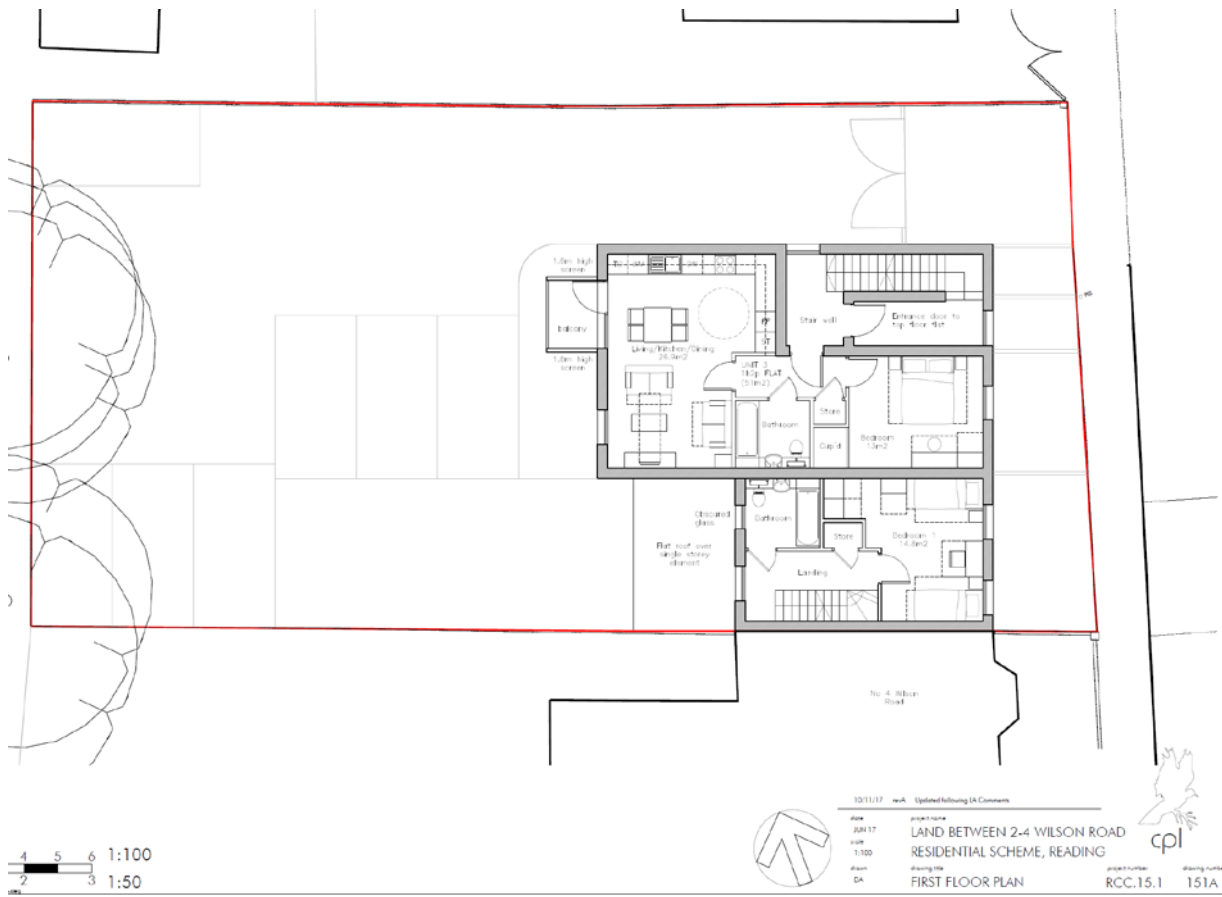
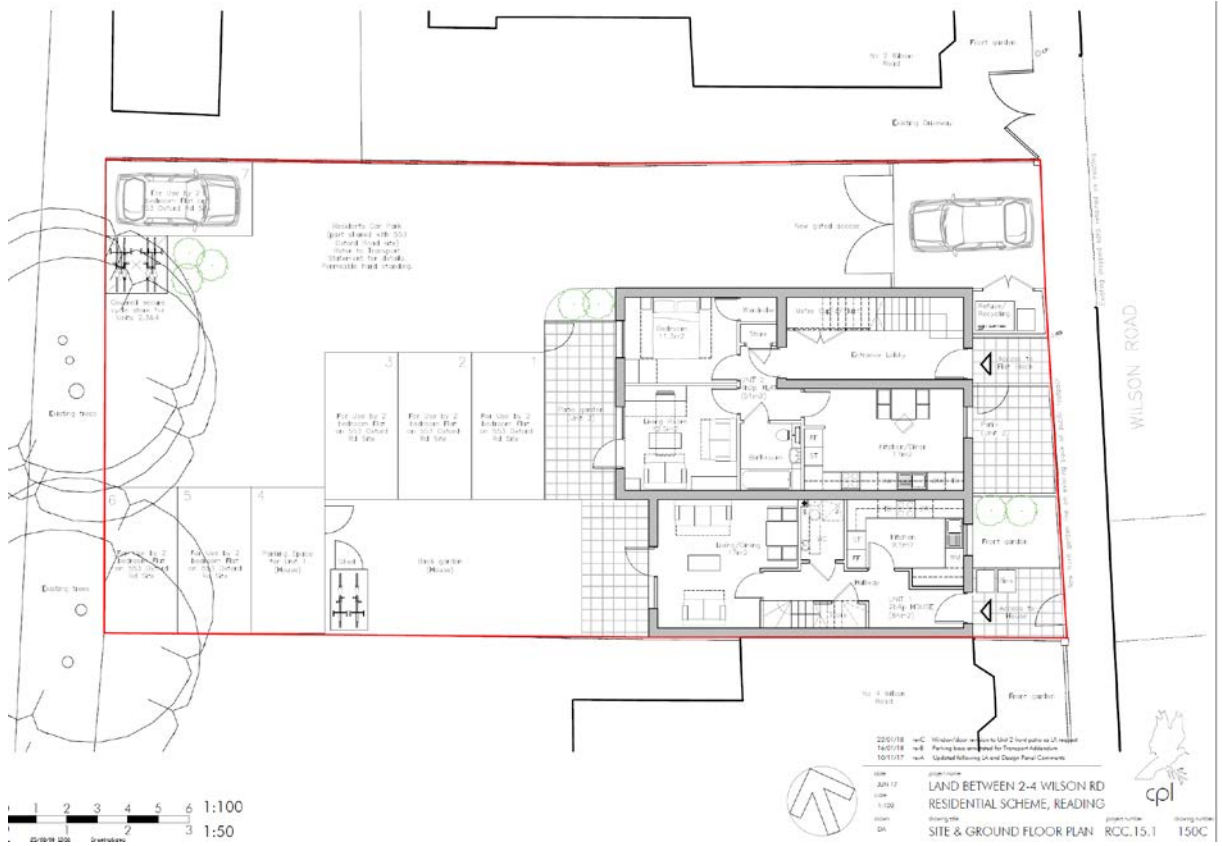
COMMUNITY & RESIDENTIAL DEVELOPMENT
 553 OXFORD ROAD READING

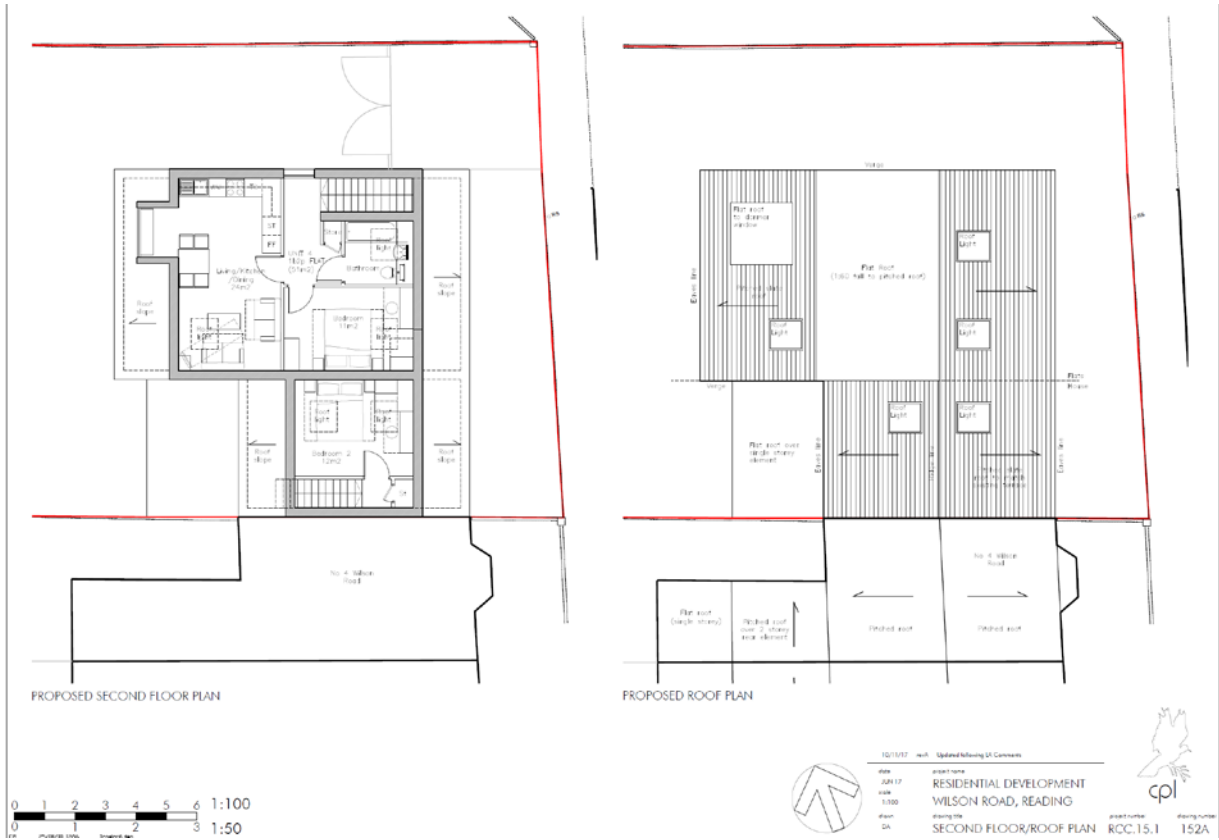
GROUND FLOOR PLAN AS PROPOSED

date: JUN 2017
 scale: 1:100
 sheet: DA
 project number: RCC.17 /150
 drawing number: B









REDLANDS

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES

READING BOROUGH COUNCIL

ITEM NO. 13

PLANNING APPLICATIONS COMMITTEE: 7 February 2018

Ward: Redlands

App No.: 171954/FUL

Site Address: 3-5 Craven Road, Reading, RG1 5LF

Proposal: Demolition of existing buildings and redevelopment to form 25 Retirement Living units (C3 use) for older persons with communal facilities, parking and associated landscaping.

Applicant: McCarthy & Stone

Date valid: 13 November 2017

13 Week Date: 12 February 2018

26 Week Date: 14 May 2018

RECOMMENDATION

REFUSE Full Planning Permission for the following reasons:

1. The proposed development would result in the complete demolition of a non-designated heritage asset at 3 Craven Road with consequent substantial harm to the asset itself, and harm to the character of the adjacent streets and to the wider Redlands area to the south and east. As such the proposed development is contrary to Policies CS33 and CS7 of the Reading Borough LDF Core Strategy 2008 (altered 2015), the National Planning Policy Framework and associated Planning Practice Guidance.
2. The proposed development by reason of its excessive scale and expansive footprint would be overly prominent within its context and would appear as an inappropriate and unsympathetic development that would detract from the appearance of the street scene, and the character of the wider Redlands area to the south and east. The proposal would therefore be contrary to Policies CS7 and CS15 of the Reading Borough LDF Core Strategy 2008 (altered 2015), and guidance in the NPPF and PPG.
3. The proposed development by reason of its height, massing and proximity to the neighbouring dwelling at 7 Craven Road, would result in harm to the amenity of this neighbour due to overlooking and loss of privacy. As such the proposal would be contrary to Policy DM4 of the Sites and Detailed Policies Document 2012 (altered 2015) and Policy CS15 of the Reading Borough LDF Core Strategy 2008 (altered 2015).
4. The proposed development would result in the removal of a good quality street tree with consequent harm to the visual amenity, biodiversity and environmental quality of the area. As such the development would be contrary to Policies CS7 and CS38 of the Reading Borough LDF Core Strategy 2008 (altered 2015) and Policies DM1 and DM18 of the Reading Borough Sites and Detailed Policies Document 2012 (altered 2015).
5. In the absence of a completed legal agreement to secure an acceptable amount of Affordable Housing, the proposal fails to contribute adequately to the housing needs of Reading Borough and the need to provide sustainable and inclusive mixed and balanced communities. As such the proposal is contrary to Policy CS16 of the Reading Borough LDF Core Strategy 2008 (altered 2015) and Affordable Housing Supplementary Planning Document 2013.

6. In the absence of a completed legal agreement to secure a suitable Employment, Skills and Training Plan, or appropriate alternative financial contribution to allow for employment, skills and training provision, the proposal fails to contribute adequately to the employment skills and training needs of Reading Borough. As such the proposal is contrary Policy CS3 and CS9 of the Reading Borough LDF Core Strategy 2008 (altered 2015), Policy DM3 of the Sites and Detailed Policies Document 2012 (altered 2015) and the Employment Skills and Training Supplementary Planning Document 2013.

7. In the absence of a completed legal agreement to secure necessary off-site highway works, the proposal fails to mitigate its impact on adjacent highway infrastructure. As such the proposal is contrary to Policies CS20, CS22 and CS23 of the Reading Borough LDF Core Strategy 2008 (altered 2015) and Policy DM12 of the Sites and Detailed Policies Document 2015 (altered 2015).

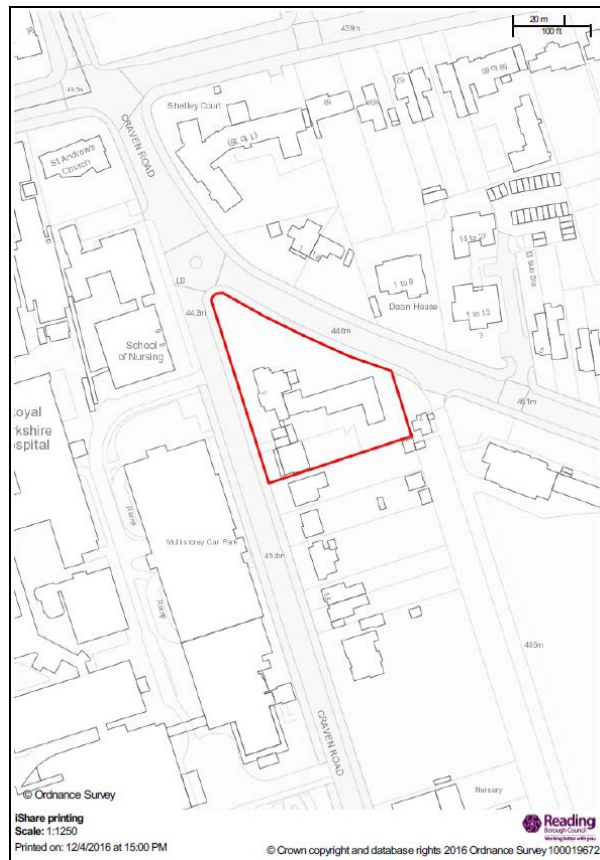
Informatives

1. Positive and Proactive Approach
2. Refused drawings

1. INTRODUCTION

- 1.1 The site is located at the roundabout junction of Craven Road and Erleigh Road to the south east of the town centre and opposite the Royal Berkshire Hospital site.
- 1.2 The site is currently occupied by two community facilities, the Dingley Health development centre - run by Royal Berkshire Hospital. This is a service for children with moderate to significant disabilities and serves children across Reading, Wokingham and West Berkshire LA areas; the second being the Children and Adolescent Mental Health service for 0 - 19 years (serving Reading) , which is run by Berkshire Healthcare NHS Foundation Trust. Section 14 of the submitted application form suggests that the use ended on 1 September 2017. However, based on a site visit on 14 December 2017, it appears that both occupiers are still in place. The proposal involves the demolition of all of the the current buildings on the site.
- 1.3 The current buildings include 3 Craven Road, which was recently added to Reading Borough's List of Locally Important Buildings and Structures in recognition of its local heritage significance. It is therefore a 'non-designated heritage asset'. The building is two storey mid-Victorian house in a Gothic style. The plan form is L-shaped with slate roof and ogee turret roof at the rear angle. It was built primarily in red brick with yellow brick detailing forming the plinth, dentillated string course, quoins and levelling courses. It has a gabled roof with decorative fretted timberwork at the eaves, timber corbelling exposed at the eaves. Dressed stone exists around the windows heads and cills with keystones and yellow stock brick detailing around the windows. Windows are generally intact as eight pane sash windows. A decorative chimney with polychromatic brickwork exists to the southern wing.
- 1.4 Apart from a number of unsympathetic extensions to the rear and side including a wooden single storey extension, separate flat roof modular building and access ramp, the Victorian building at No. 3 Craven Road is relatively intact. The 1879 OS mapping shows the building within its own extensive grounds.

- 1.5 The building makes use of brickwork which, although Victorian, is distinctively from Berkshire, using clays found in the area, possibly at local kilns from areas such as Tilehurst.
- 1.6 The building retains virtuoso yellow stock brickwork forming the plinth, dentillated string course, quoins and levelling courses and forming the chimney stack. The decorative fretted timberwork at the gables is particularly impressive. Dressed stone around the windows heads and cills with keystones shows particular quality.
- 1.7 The building also has group value being associated with a number of large villas along Craven Road and the Berkshire Hospital.
- 1.8 Number 5 is also a good quality building which although not considered to be a heritage asset, does reflect the prevailing scale and character of buildings on the east side of Craven Road, a character which continues eastwards into the Redlands residential area and which contrasts sharply with the larger scale of buildings within the hospital and beyond towards the town centre.



Site location plan - not to scale



Site Photograph

2. RELEVANT PLANNING HISTORY

- 2.1 041338/FUL - Temporary relocation of existing portable building from Battle Hospital and extension to house Dingley Childrens Development Centre - Approved.
- 2.2 151886/PRE - Erection of a new part two storey / part three storey building to comprise 39 retirement living apartments (use class C3) with associated parking, landscaping and communal facilities, following demolition of the existing buildings. - Observations sent
- 2.3 1 December 2015 - 3 Craven Road locally listed. This decision was reviewed by the Head of Planning and Lead Councillor for Strategic Environment, Planning and Transport on the request of the landowner and in accordance with the Council's local listing procedure. Their decision, given on 2 February 2016, was that the building remains worthy of local listing.
- 2.4 160355/FUL - Erection of a part 4 storey/part 3 storey building to accommodate 39 Retirement Living units (C3 use) for older persons with communal facilities, parking and associated landscaping following the demolition of existing buildings. Withdrawn by the applicant - recommended for refusal on the agenda for 27 April 2016 Planning Applications Committee.
- 2.5 170166/DEM - Application for prior notification of proposed demolition. All buildings at 3 to 5 Craven Road. Notification given that Prior Approval Required. Application withdrawn.
- 2.6 170484/DEM - Application for prior notification of proposed demolition. All buildings at 3 to 5 Craven Road. Notification given that Prior Approval Required. Superseded by Article 4 Direction (see below).
- 2.7 Article 4 Direction dated 20 July 2017 removing permitted development rights under Part 11 (demolition) of the GPDO.

3. PROPOSALS

- 3.1 Full planning permission is sought for the demolition of all buildings within the site and the erection of a single building with a broadly L-shaped footprint. This would comprise two storey buildings with a third storey of accommodation within the roof at the southern end, rising to a three-storey scale with an additional fourth storey of accommodation within the roof at the northern end, close to the roundabout.
- 3.2 The proposed building would contain 25 flats (Class C3) with 6 being one-bedroom and 19 two-bedroom. The applicant proposes that these flats be occupied only by persons over 55 years of age.
- 3.3 The existing access to 3 Craven Road would be closed and a new single vehicular access be provided, from Craven Road, serving a large car parking area towards the southern end of the site.
- 3.4 Information Submitted with the Application:

Drawings

SE-2372-03-AC-001 - Site Location Plan, dated 6 February 2017

SE-2372-03-AC-012 Demolition Site Plan, dated 30 October 2017

SE-2372-03-AC-028 Proposed Ground Floor Plan, dated 30 October 2017

SE-2372-03-AC-029 Proposed First Floor Plan, dated 30 October 2017

SE-2372-03-AC-030 Proposed Second Floor Plan, dated 30 October 2017

SE-2372-03-AC-037 Proposed Elevations 01 (Coloured) - North and East, dated 1 November 2017

SE-2372-03-AC-038 Proposed Elevations 02 (Coloured) South and West, dated 1 November 2017

SE-2372-03-AC-039 Proposed Street Elevations 01 dated 21 November 2017

SE-2372-03-AC-040 Proposed Street Elevations 02 dated 21 November 2017

SE-2188-03-LA-MCS604/Drg 01 Rev.B, Landscape Proposals, dated 18 January 2018.

047.0050.012 Revision B, Amended Relocation of Bus Stop and Post Box, Visibility Splays and Emergency Vehicle Tracking, dated 4 January 2018

IDL/892/07/01, Drainage Layout, dated October 2017

8901/02 Rev.B Tree Protection Plan, dated 7 November 2017

Documents -

Financial Viability Assessment dated 31 October 2017

Housing Needs Assessment Report, dated September 2017

CIL - Planning Application Additional Information Requirement form

Arboricultural Report JTK/8901/JK dated January 2018.

Tree Constraints Plan 8901/01 dated July 2015

Transport Statement, 047.0050/TS/2 (rev.2) dated 26 October 2017 and associated appendices.

Planning Statement (undated), received 6 November 2017

Statement of Community Involvement dated October 2017

Foul & Surface Water Drainage Assessment, Third Issue, dated 9 October 2017

Cellular Storage Proposal

Noise Assessment R6072-1 Rev.1 dated 26 October 2017

Letter of Support, Berkshire Healthcare NHS Foundation Trust dated 26 October 2017

Bat Survey Report 17_1368_Report_MF_AR, dated 10 October 2017

Design and Access Statement SE-2372-03-AC-066 dated October 2017

Heritage Statement (Undated), received 2 November 2017

Visually Verified Montages NPA 10858 050 MCS October 2017

4. CONSULTATIONS

RBC Transport

- 4.1 The application site is located outside the town centre area, but is within close proximity to bus routes 3, 9 and 19 (a, b and c). The site is therefore accessible to good public transport links to and from the town centre area.
- 4.2 A Transport Statement has been submitted to accompany the application. Trip rate data has been submitted comparing the trip generation between the existing and proposed uses. Transport are satisfied that the proposed use would generate fewer trips on the network.
- 4.3 Vehicular access to the site is to be relocated 35m further south than its current position. This proposed location is acceptable in principle given that it will reduce conflicting movements with the entrance to the hospital.
- 4.4 The site is currently accessed by a right turn lane, which although substandard, would remain acceptable as the proposal would generate fewer vehicle movements. The dropped crossing arrangement is also acceptable on this basis. The existing dropped crossing will need to be abandoned with the footway reinstated.
- 4.5 It is agreed that the visibility splay of 2.4m x 28.9m in the primary direction and 2.4m x 56.2m in the secondary direction is acceptable.
- 4.6 At present, a bus stop and a post box are situated directly to the north of the proposed access, it is proposed to relocate these to achieve the visibility.
- 4.7 A tracking diagram has been provided to show that vehicles up to the size of a fire appliance could pass a bus waiting at the stop.
- 4.8 An updated plan has been submitted that demonstrates that the bus stop sign post would be sited so that it does not result in an obstruction to pedestrians.
- 4.9 The above Highway works would need to form part of a s278 Agreement and undertaken prior to commencement of the development to ensure that the necessary access arrangements and visibility splays can be achieved.
- 4.10 The maximum car parking provision for the site would be 28 spaces and this is the number proposed. The spaces are also provided within an acceptable layout. The proposal therefore complies with Policy in terms of parking in accordance with the Council's adopted Parking Standards and Design SPD.
- 4.11 Cycle parking is also required for the proposal and this should be at a ratio of 1 per 3 staff located within the form of a covered and conveniently located store equipped with Sheffield type stands. The Transport Statement states that a shared buggy / cycle store will be provided at the ground floor but it is apparent that the submitted plans do not illustrate any cycle parking within the buggy store. However, Sheffield type stands are proposed adjacent to the main entrance and

this is acceptable in principle, these cycle spaces should be covered to comply with the required standard. This can be dealt with by condition.

- 4.12 It has been stated that servicing has previously been undertaken from Craven Road and this is to be retained, this is deemed acceptable given that the refuse collection point is to be within 10m of where the collection vehicle can access.
- 4.13 In the circumstances there are no transport objections to the proposal subject to the conditions to secure vehicle parking, bicycle parking, bin storage, and construction of the access with visibility splays and closure of existing access.

RBC Historic Buildings Consultant

- 4.14 The proposals for the re-development of the site consist of a new development which would range across the site between Craven Road and Erleigh Road, adjacent to the Entrance Lodge to Reading School. The Lodge, is a pre-1948 building which is functionally related, and subsidiary to, the main Grade II Listed school and in the same ownership and is therefore considered to be curtilage listed. The Entrance Lodge and the adjacent Grade II Listed Reading School building have settings which would potentially be affected by the proposed scheme.
- 4.15 The proposed design consists of two-and-a-half storey and three-and-a-half storey ranges between Craven Road and Erleigh Road. The proposed buildings would be built in red/buff brick with bands of diaper work and quoin details in grey brick. The proposed roofs are shown as slate with dormer windows and chimneys. The elevations, particularly along Craven Road, are broken up through the use of projecting gables. However, overall the sized and mass of the buildings will still be prominent in the streetscene. The design provides some separation from the setting of the curtilage listed school Entrance Lodge; a car-park is proposed to abut the rear of the Entrance Lodge, with a three-and-a-half storey building, c.20m from the lodge. The largely open setting to the rear of the Entrance Lodge would largely remain and the poor quality, low, single storey temporary buildings would be removed.
- 4.16 The Erleigh Road elevations of the proposed development, which would abut the grounds of the Grade II Reading School and the Entrance Lodge, extend to three and a half storeys with projecting gables and balconies. Whilst the scale and mass of this development is considered to be out-of-character with the built form in the surrounding area, the separation of the proposal from the adjacent curtilage listed Entrance Lodge and Reading School is not considered to cause substantial harm to their settings and significance as listed buildings.
- 4.17 The loss of the locally listed No. 3 Craven Road is considered to result in substantial harm to the significance of this Locally Listed building. Under paragraph 135 of the NPPF, the effect of the application on the value of a non-designated heritage asset should be taken into account in determining the application, making a balanced judgement with regard to the scale of any harm or loss and the value of the heritage asset (DCLG et al, 2012, paras. 135).
- 4.18 Under paragraph 137 local planning authorities should look for opportunities for new development within Conservation Areas and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

- 4.19 The design has incorporated some architectural detailing from the surrounding late Victorian and Edwardian buildings so that it better harmonises with the surrounding built environment than the previous, withdrawn, application proposal. The amended design has partly broken-up the mass and scale of the development through variations in the building form and footprint so that it is less dominant in the streetscene and is more sympathetic to the settings of the Listed School and curtilage Listed Entrance Lodge than previously. The prospect of a heritage-led design incorporated into the proposals is however, not examined within the heritage statement provided, and no justification is provided for not examining this option.
- 4.20 The Reading Borough Council Core Strategy *CS33: Protection and Enhancement of the Historic Environment* requires that historic features and areas of historic importance and other elements of the historic environment, including their settings, will be protected and where appropriate enhanced including features with local or national designation and that planning permission will only be granted where development has no adverse impact on historic assets and their settings.
- 4.21 Overall the proposed design is considered to better address the settings of the curtilage listed Entrance Lodge, Grade II Listed School and the Alexandra Road Conservation Area than previously. However, due to the required demolition of No. 3 Craven Road, the proposed development would result in substantial harm to the locally listed building. The effect of this harm should be taken into account in determining the application, making a balanced judgement with regard to the scale of the loss and the value of the heritage asset (DCLG et al, 2012, paras. 135).

Lead Flood Authority (RBC Highways)

- 4.22 Confirmed no objection subject to conditions to secure completion of the sustainable drainage scheme and to secure submission of details of the future maintenance and management of the drainage system.

RBC Natural Environment (Trees and Ecology) (NE)

- 4.23 The up-dated tree survey and Arboricultural Impact Assessment (AIA) are acceptable.
- 4.24 The submitted Tree Protection Plan is acceptable in respect of existing trees to be retained.
- 4.25 Natural Environment were approached prior to submission to ask whether the removal of the street Lime tree (T4 of the survey) would be acceptable and the applicant was advised that the removal of a healthy, established, defect-free, 'A' category Council street tree to allow for development would not be acceptable, particularly as replanting locations in this road are unlikely to be feasible due to site constraints.
- 4.26 The revised landscaping proposal is acceptable, with the exception of the proposed loss of the street tree.
- 4.27 In conclusion, whilst the proposal is acceptable in respect of on-site tree and landscaping proposals the proposal is not acceptable due to the loss of a healthy Council street tree

RBC Environmental Protection

- 4.28 The submitted noise assessment shows that the recommended standard for internal noise can be met, provided that the recommendations from the

assessment are incorporated into the design. It is recommended that a condition be attached to any permission granted to ensure that the glazing (and ventilation) recommendations of the noise assessment (and air quality assessment, where relevant) will be followed, or that alternative but equally or more effective glazing and ventilation will be used.

- 4.29 It is recommended that noise, dust, hours of working and bonfires during construction are controlled by CMS and hours of work conditions.

RBC Ecologist

- 4.30 In 2015, a bat survey (Innovation Group Environmental Services, Ref: E2107151217, October 2015; associated with withdrawn application 160355) recorded a single common pipistrelle re-entering to roost at 3 Craven Road and the council's ecology officer confirmed that a bat licence would be required. The updated bat survey report (Green Link Ecology Ltd, Ref: 17_1368_Report_MF_AR, October 2017), however, concludes that following 3 bat activity surveys, the buildings onsite are not currently used by roosting bats. To minimise the risk of harm to bats, the mitigation strategy outlined in the report will need to be implemented and a condition requiring development to be in accordance with the mitigation measures in the bat survey should be set.

- 4.31 The works will involve the removal of at least one tree (as per the tree constraints plan) and potentially shrubs and other garden plantings. As such, any vegetation clearance should be timed to avoid the bird nesting season. To be controlled by condition.

- 4.32 In conclusion, there are no ecology related objections to this application.

Berkshire Archaeology

- 4.33 The existing buildings on the site will have already significantly impacted any archaeological deposits that may have been present. The proposals would only create a small area of new impact and in light of this it is not felt that archaeological investigations are merited in this instance. Our advice relates only to below ground archaeological deposits and any recommendations regarding the existing Locally Listed building should be sought from the conservation officer.

RBC Emergency Planner

- 4.34 No comment received. Any comments received prior to Committee will be reported in an Update report.

RBC Valuation Department

- 4.35 No comment received. Any comments received prior to Committee will be reported in an Update report.

Berkshire Fire and Rescue Service

- 4.36 No comment received. Any comments received prior to Committee will be reported in an Update report.

Ambulance Service

- 4.37 No comment received. Any comments received prior to Committee will be reported in an Update report.

Thames Valley Police

- 4.38 No comment received. Any comments received prior to Committee will be reported in an Update report.

RBC Disabled Access Group

- 4.39 No comment received. Any comments received prior to Committee will be reported in an Update report.

RBC Director of Children, Education & Early Help Services

- 4.40 Confirmed that any Council services have been moved or relocated from the site and have no further comment to make at this time.

Public Consultation

- 4.41 Neighbours adjoining the site were consulted by letter.
- 4.42 Two site notices were displayed. One on Craven Road adjacent to the entrance to no.3 and one on the Erleigh Road frontage.
- 4.43 Representations have been received from five addresses as follows:

- Craven Rd is busy already and a development of this size is disproportionate. The site needs developing but 25 seems a huge number of retirement homes with attendant noise and disruption.
- The proposal is a significant improvement in relation to 1 Erleigh Road compared with the previous application. Request that the trees close to the boundary with Erleigh Road are preserved.
- Direct overlooking of family living room and garden of 7 Craven Road.
- The main access to this proposed development for 25 retirement living units, both by foot and by vehicle runs along the full length of the boundary of 7 Craven Road resulting in noise pollution and disturbance with residents visitors using this access both day and night.
- Craven Road is already a busy and congested road; this additional concentration of traffic will cause traffic problems and create a safety hazard for other motorists.
- Concerns about the construction traffic to this site, the roads around this site are already busy and at rush hour often gridlocked, as a local resident this is a major concern.
- 3 Craven Road was the home of the important Reading architect, Joseph Morris and No 5 also designed by his firm. Although these are not in my view among the best of the firm's buildings No 3 was where Morris, a wee bit batty by this time, proclaimed the Second Coming of Christ in 1903 and therefore has some historical importance. The new development should perhaps incorporate some sort of plaque recognising the historical importance of the site.

5. LEGAL AND PLANNING POLICY CONTEXT

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.
- 5.2 Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the local planning authority to have special regard to the desirability of preserving a listed building or its setting or any features of special interest which it possesses.
- 5.3 Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990

requires the local planning authority in the exercise of its functions to pay special attention to the desirability of preserving or enhancing the character or appearance of a conservation area.

5.4 National

National Planning Policy Framework
National Planning Practice Guidance

5.5 Reading Borough Local Development Framework: Core Strategy (2008) (Altered 2015)

CS1 Sustainable Construction and Design
CS2 Waste Minimisation
CS3 Social Inclusion and Diversity
CS4 Accessibility and Intensity of Development
CS5 Inclusive Access
CS7 Design and the Public Realm
CS9 Infrastructure, Services, Resources and Amenities
CS14 Provision of Housing
CS15 Location, Accessibility, Density and Housing Mix
CS16 Affordable Housing
CS20 Implementation of Reading Transport Strategy
CS22 Transport Assessments
CS23 Sustainable Travel and Travel Plans
CS24 Car/Cycle Parking
CS29 Provision of Open Space
CS30 Access to Open Space
CS31 Community Facilities
CS33 Protection and Enhancement of the Historic Environment
CS34 Pollution and Water Resources
CS35 Flooding
CS36 Biodiversity and Geology
CS38 Trees, Hedges and Woodlands

5.6 Sites and Detailed Policies Document (2012) (Altered 2015)

SD1 Presumption in Favour of Sustainable Development
DM1 Adaption to Climate Change
DM2 Decentralised Energy
DM3 Infrastructure Planning
DM4 Safeguarding Amenity
DM5 Housing Mix
DM10 Private and Communal Outdoor Space
DM12 Access, Traffic and Highway-related Matters
DM18 Tree Planting
DM19 Air Quality

5.7 Supplementary Planning Documents

Sustainable Design and Construction (2011)
Revised Parking Standards and Design (2011)
Employment Skills and Training (2013)
Affordable Housing (2013)

Other documents

Berkshire (including South Bucks) Strategic Housing Market Assessment (2016)
(http://beta.reading.gov.uk/media/2959/Housing-Market-Assessment/pdf/Berkshire_SHMA_Full_Report_May_07.pdf)

Historic England Advice Note 7 Local Heritage Listing (2016)
(<https://content.historicengland.org.uk/images-books/publications/local-heritage-listing-advice-note-7/heag018-local-heritage-listing.pdf/>)

Reading Borough Council Annual Monitoring Report 2016-2017 (December 2017)
(http://www.reading.gov.uk/media/8135/Annual-Monitoring--Report-2017/pdf/Annual_Monitoring_Report_2016-17.pdf)

6. APPRAISAL

i) Heritage and Character

6.1 The adjacent Victorian and Edwardian villas to the south on both Craven Road and Erleigh Road are of two and two-and-half storeys (two storeys with roof attics). This more domestic scale and Victorian/Edwardian character continues across much of the Redlands area to the south and to the east of the site (broadly defined by London Road to the north, Upper Redlands Road to the south, the east side of Craven Road to the west and Eastern Avenue to the east), including the Alexandra Road Conservation Area. It is considered that the application site is much more closely associated with this 'character area' than the character of the hospital opposite, which necessarily consists of larger buildings often with a quite functional appearance. It is apparent that the hospital is also more closely associated to the larger scale character of the town centre to the west rather than the older residential buildings of the Redlands area to the east and south, the centre of Craven Road is therefore the boundary of these two distinct character areas.

6.2 The proposed design would replace the existing historic buildings with a much larger building. Along Craven Road the proposed development would result in a more-or-less continuous elevation of two and half storeys, rising to three and a half storeys at the junction between Craven and Erleigh Road. The building would also extend to a substantial depth towards the rear of the site. The height and massing of the building, i.e. its three dimensional bulk and its arrangement, is a key matter to be assessed and is fundamental to the acceptability of the proposal.

Setting of Adjacent Heritage Assets

6.3 As stated in the submitted heritage statement, the proposals would affect the settings of the school lodge, (curtilage listed) and to a lesser extent the curtilage listed Reading School terrace buildings.

6.4 It is accepted that the removal of the temporary single storey buildings currently on site would improve the setting to some extent, as referred to in the submitted heritage statement. The Council's Historic Buildings Consultant considers that sufficient separation has been achieved between the curtilage listed Reading School Gatehouse (it's setting as an ancillary building is relatively small and capable of accommodating new development). There would be some change to the setting of the main school building due to the effect on the setting of the main avenue approach. However this is currently viewed within the context of surrounding development and the change it is not considered to be harmful to the setting in this instance.

Demolition of the Locally Listed Building (No.3 Craven Road)

6.5 3 Craven Road was added to Reading's List of Locally important Buildings and Structures 'Local List' on 1 December 2015 based on the advice of the Council's

Historic Buildings Consultant and in accordance with the criteria set out on page 62 of the Sites and Detailed Policies Document 2012 (altered 2015).

- 6.6 The summary to Historic England Advice Note 7 Local Heritage Listing (2016) states:

“Local lists play an essential role in building and reinforcing a sense of local character and distinctiveness in the historic environment, as part of the wider range of designation. They enable the significance of any building or site on the list (in its own right and as a contributor to the local planning authority’s wider strategic planning objectives), to be better taken into account in planning applications affecting the building or site or its setting.”

- 6.7 The Advice Note continues in paragraph 11:

“In deciding applications for planning permission that affect a locally listed heritage asset or its setting, the NPPF requires, amongst other things, both that local planning authorities should take into account the desirability of sustaining and enhancing the significance of such heritage assets and of putting them to viable uses consistent with their conservation and the consideration of the positive contribution that conserving such heritage assets can make to sustainable communities including their economic vitality (NPPF paragraphs 126 and 121). Whilst local listing provides no additional planning controls, the fact that a building or site is on a local list means that its conservation as a heritage asset is an objective of the NPPF and a material consideration when determining the outcome of a planning application (NPPF, paragraph 17).”

- 6.8 National Planning Practice Guidance advises that in most cases the assessment of the significance of the heritage asset by the local planning authority is likely to need expert advice in addition to the information provided by the historic environment record, similar sources of information and inspection of the asset itself. Advice may be sought from appropriately qualified staff and experienced in-house experts or professional consultants, complemented as appropriate by consultation with National Amenity Societies and other statutory consultees. (NPPG Paragraph: 010 Reference ID: 18a-010-20140306)

- 6.9 In line with this advice, the following assessment is based closely on the advice of the Council’s Historic Buildings Consultant (HBC), as well as all other material considerations.

- 6.10 The proposals would include the demolition of the locally listed building, No. 3 Craven Road. As agreed by the applicant in their submitted heritage statement the building certainly meets the RBC’s criteria for local listing (para 4.13 p.18), although the applicant disagrees with the Council over the degree of historic importance.

- 6.11 The reasons given by the Council for locally listing 3 Craven Road, in reference to the SDPD criteria and on the advice of the Council’s Historic Buildings Consultant are as follows:

“In summary 3 Craven Road:

- Is representative of a style that is characteristic of Reading;*

- *The building or structure has a noteworthy quality of workmanship and materials;*
- *The building or structure is the work of a notable local/national architect/engineer/builder;*
- *The building or structure shows innovation in materials, technique, architectural style or engineering;*
- *Has social importance being associated with the Royal Berkshire Hospital.*

The building is two storey mid-Victorian in a Gothic style. The plan form is L-shaped with slate roof and ogee turret roof at the rear angle. It was built primarily in red brick with yellow brick detailing forming the plinth, dentillated string course, quoins and levelling courses. It has a gabled roof with decorative fretted timberwork at the eaves, timber corbelling exposed at the eaves. Dressed stone exists around the windows heads and cills with keystones and yellow stock brick detailing around the windows. Windows are generally intact as eight pane sash windows. A decorative chimney with polychromatic brickwork exists to the southern wing.

Apart from a number of unsympathetic extensions to the rear and side including a wooden singles storey extension, separate flat roof port a cabin and access ramp, the Victorian building at No. 3 Craven Road is relatively intact. The 1879 OS mapping shows the building within its own extensive grounds.

The building makes use of brickwork which, although Victorian, is distinctively from Berkshire using clays found in the area, possibly at local kilns from areas such as Tilehurst.

The building retains virtuoso yellow stock brickwork forming the plinth, dentillated string course, quoins and levelling courses and forming the chimney stack. The decorative fretted timberwork at the gables is particularly impressive. Dressed stone around the windows heads and cills with keystones shows particular quality.

The building also has group value being associated with a number of large villas along Craven Road and the Berkshire Hospital.”

- 6.12 It is relevant that paragraph 017 of the Conserving and Enhancing the Historic Environment section of the National Planning Practice Guidance states that the complete demolition of the building would result in “obvious” substantial harm to a non-designated heritage asset (para 017).
- 6.13 The demolition of a locally listed building, which must be interpreted as substantial harm to a non-designated heritage asset, is considered to be contrary to Core Strategy Policy CS33 as well as national policy in the NPPF, subject to the necessary planning balance. The applicant’s heritage statement (para 2.02) states that “[Policy CS33]... predates the Framework [the NPPF] and includes the phrase “Planning permission will only be granted where development has no adverse impact on historic assets” which is clearly contrary to the ‘balanced’ approach introduced by paragraph 134 of the Framework and reinforced by the recent (December 2015) Court of Appeal decision referred to in paragraph 1.05 above. Accordingly the provisions of the Framework will take precedence over this part of the adopted Core Strategy”. This point is not accepted by officers and is considered to be an overly simplistic reading of the policy. The policy remains subject to the usual planning balance under s38(6) of the Act. Furthermore, the NPPF and NPPG, together with other national heritage guidance, help to inform an

assessment of when “adverse impact” might occur, thereby maintaining an appropriate balance inherent within the development plan policy. This development plan policy therefore remains relevant to this application and does not conflict with national policy. It should therefore be afforded full weight.

6.14 Assessing the merits of a proposal to replace the locally listed building triggers a policy approach as follows:

- Paragraph 9.1.25 of the Sites and Detailed Policies Document 2012 (altered 2015) states that:

“The LPA will establish a list of ‘Locally important Buildings and Structures’. Where a building or structure merits designation as a locally important heritage asset, it would be recorded as such by adding it to this list, which will form part of Reading’s Historic Environment Record. The asset would then be conserved and where appropriate enhanced in accordance with Policy CS33 of the Core Strategy and national planning policy...”

- Policy CS33 of the Core Strategy states that:

“Historic features and areas of historic importance and other elements of the historic environment, including their settings, will be protected and where appropriate enhanced. This will include... Other features with local or national designation... Planning permission will only be granted where development has no adverse impact on historic assets and their settings...”

- Paragraph 135 of the NPPF states:

“The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.”

6.15 The Sites and Detailed Policies Document states that following local listing, the asset should be conserved in accordance with CS33 and national policy.

6.16 In accordance with national policy and s.38(6) of the Act, it is necessary to weigh the overall significance of the heritage asset against the wider social, economic and environmental benefits arising from the proposal and any other relevant material considerations.

6.17 At the start of this weighing exercise, it is considered appropriate to afford the local listing status greater weight than if the building were not locally listed, as suggested by:

- Historic England guidance (Advice Note 7),
- the approach set out in the SDPD - Paragraph 9.1.25 which means that Policy CS33 applies, and therefore the approach to development plan policy set out in s.38(6) of the Planning and Compulsory Purchase Act.
- the specific references to local listing as a distinct approach to identifying locally important heritage assets within national planning guidance.

6.18 National Planning Practice Guidance states

“Whether a proposal causes substantial harm will be a judgment for the decision taker, having regard to the circumstances of the case and the policy in the National Planning Policy Framework.... It is the degree of harm to the asset’s significance rather than the scale of the development that is to be assessed... While the impact of total destruction is obvious, partial destruction is likely to have a considerable impact but, depending on the circumstances, it may still be less than substantial harm or conceivably not harmful at all.”
(Paragraph: 017 Reference ID: 18a-017-20140306).

- 6.19 It is concluded, based on the available evidence, including the submitted heritage statement and associated supplementary documents, together with the advice of the Council’s Historic Buildings Consultant, and national and local planning policy and guidance, that the proposed demolition of locally listed Pearson’s Court would result in ‘obvious’ substantial harm to the heritage significance of the locally listed heritage asset. This would be contrary to Policy CS33 and national policy and guidance within the NPPF.
- 6.20 Other material considerations to be weighed against this harm are considered below. The wider benefits in terms of supporting the provision of housing in general and the need for older persons’ accommodation in particular, meeting housing need, supporting economic vitality are material considerations and relevant to the wider socioeconomic elements of ‘sustainable development’ as outlined in the NPPF.

Housing Need

- 6.21 The proposal would contribute towards meeting identified housing need in general terms, as identified in the Berkshire (including South Bucks) Strategic Housing Market Assessment 2016 (SHMA).
- 6.22 In general terms the Council’s 2017 Annual Monitoring Report 2016-2017 (AMR) confirms that numbers of new housing completions have continued to recover from the recession with 717 homes completed in 2016-17. Reading has a greater than five year supply of housing when measured against both Core Strategy targets and objectively assessed need. The AMR reports that *“delivery of affordable housing is some way below Reading’s needs, however.”*
- 6.23 The AMR confirms that whilst the amount of affordable housing completions 2016-17 represents a small increase on 2015-16, it is significantly below recent historic levels, and is a long way below the assessed need for new affordable housing within the SHMA (para 7.11).
- 6.24 There is a continued very substantial need to secure additional affordable housing - the results of the Berkshire Strategic Housing Market Assessment show that there is a need for 406 affordable dwellings per year.
- 6.25 With regard to specialist accommodation for older persons, nationally there is a critical need for older persons’ accommodation as described in National Planning Practice Guidance (Paragraph: 021 Reference ID: 2a-021-20160401). Locally, the SHMA supports the future provision of Older Person’s Accommodation, as does Policy DM7 of the Sites and Detailed Policies Document, which supports provision of sheltered housing as a means of providing opportunities for more independent living for vulnerable persons. The SHMA identifies a need for 997 owner occupied homes for older persons by the year 2036.

- 6.26 In the case of Reading, the need for older persons' accommodation is tempered to some extent by the "notably younger population" identified by the SHMA (para. 4.12), and the very high demand for Affordable Housing, these being relevant when considering the relative importance of the type of accommodation proposed. Also relevant to this case is para 9.16 of the SHMA which indicates that there will be a notable demand for Affordable Housing from the ageing population, something which is downplayed by the applicant in para. 1.14 of the submitted housing needs assessment.
- 6.27 The submitted housing needs assessment refers to the Council's Market Position Statement on Care for Older People 2016-2019 which states that the five Extra Care Housing schemes recently completed and a sixth to be completed in 2018 will meet the demand for extra care provision in the Borough. The submitted statement comments that this does not address the role of sheltered accommodation for sale.
- 6.28 It is accepted therefore that there is a clear demand for older persons' accommodation in Reading Borough as part of the general housing need. The proposed private, owner-occupied, tenure scheme would certainly contribute towards meeting this need. However it is not a pressing need to the degree that Affordable Housing is currently. If the need for older persons' accommodation is to be given greater weight, this would need to take the form of Affordable Housing. The current offer, based on the applicant's 'surplus profit' set out in the submitted Viability Assessment is £168,480. This would be towards off-site provision of Affordable Housing and equates to an equivalent provision of 3.5% Affordable Housing. This falls far short of the 30% requirement in Policy CS16 and does not provide any Affordable Housing on site. This minimal contribution towards the pressing need for Affordable Housing in the Borough diminishes the contribution made by the scheme towards identified local housing need and weighs against any benefits that may arise from the proposal.
- 6.29 Importantly, if an overriding need for housing, including Older Persons' Accommodation could be demonstrated, this would not in itself justify the demolition of the locally listed building. The building was originally constructed as a dwelling and the possibility of conversion back to residential use is a reasonable assumption. An imaginative architectural solution that retains the historically significant parts of the locally listed building, with suitable new wings or extensions to provide additional accommodation appears possible, without the need for an overly contrived design. Indeed this approach is formally proposed in Policy ER1b (Dingley House, 3-5 Craven Road) of the Pre-Submission Draft Reading Borough Local Plan (2017). This draft policy proposes "*retention and change of use of locally listed building for residential with limited additional development*". A guideline figure of 15-22 dwellings is indicated. Whilst this draft policy carries little weight at this stage of its adoption, it remains a clear indicator of the appropriate use of the site and the future direction of travel in policy terms

Job Creation

- 6.30 The applicant rightly refers to the jobs created through the construction of the scheme as being a material benefit and refers to local work for around 120 people. Ongoing employment would also be secured for a few members of staff and those involved in servicing the building.
- 6.31 However these benefits are not unique to a scheme involving complete demolition and are common to most construction projects. A scheme that retains and extends the existing structure would also create a significant number of jobs and could

involve a wider range of skills in conserving the significance of the historic building.

Improved Quality of Life for Future Occupiers

- 6.32 The proposal would undeniably provide a high quality, safe, living environment for future occupiers that would also assist in dealing with problems of loneliness experienced by older persons. The health benefits referred to in paragraphs 7.9 to 7.12 of the submitted planning statement are also acknowledged. It is agreed that the provision of high quality accommodation for older persons would comply with national and local planning policy in respect of housing older and/or vulnerable persons. However it is important to note that these benefits do not necessarily override other policy aims in respect of heritage and it is considered that high quality accommodation could also be achieved through a well-designed scheme which integrates the existing heritage asset within the proposals.

Freeing up under-occupied housing

- 6.33 The submitted planning statement notes that “McCarthy & Stone find on average around 60% of occupants move into a McCarthy & Stone scheme from within a five mile radius of the site.” (para. 7.2). This suggests that a significant proportion would be attracted to the scheme from further afield, which would dilute any benefits to the local housing market in terms of freeing up family housing.
- 6.34 It is considered that this benefit is quite general and based on unqualified assumptions that could not be reasonably secured or controlled through the planning system i.e. future occupiers may equally move to the scheme from smaller accommodation, or from areas of lower housing demand further afield where the benefits would be less (see above). Importantly any benefits that would occur in terms of freeing up larger housing could also be achieved through an alternative scheme which sought to retain and extend the existing locally listed building.

Environmental Benefit

- 6.35 The applicant explains that the proposal would provide environmental benefits through making effective and efficient use of a valuable land resource and reducing development pressure on greenfield land. The proposal would certainly have this benefit, however it is considered that a scheme involving retaining the locally listed building would also achieve the same outcome.
- 6.36 Complete demolition has the disadvantage of wasting embodied energy within the existing structure and is less favourable than re-use in this respect. A new building would probably achieve a higher environmental standard once constructed and in use, although it is likely that environmental improvements could be retrofitted to the existing building and any new build elements (extensions or new wings) could be built to current environmental standards. On balance the environmental difference between the two potential approaches may be minimal and unlikely, in itself to outweigh the substantial harm to the heritage asset.

Other Economic Benefits

- 6.37 The submitted planning statement suggests that, the development once fully occupied would be likely to accommodate between 39 - 72 residents who given their age are likely to use the shopping and other facilities of the nearby local shops on a regular basis. In terms of the specifics of this application site, the site is not located particularly close to ‘local shops’ and future occupiers could reasonably be expected to rely on the nearby town centre for their shopping needs in much the same way as other residents. In this instance there is unlikely to be a material difference in shopping pattern compared to younger, or family occupiers.

- 6.38 As with many of the other benefits described above, the benefits of older occupiers could also be realised in much the same way with a heritage-led scheme which seeks to retain the locally listed building and provide new accommodation around it.

Building Design

- 6.39 The proposed new building is an improvement on that previously proposed under application reference 160355/FUL. The elevation to Craven Road is improved with deep recesses between sections of building giving the impression of separate buildings to some extent. This better reflects the distinctive older buildings which continue along the eastern side of Craven Road as it continues uphill to the south. The architectural treatment of the facades is also improved, with window design and patterned brickwork that better reflects the character of Craven Road, Erleigh Road, and the wider Redlands area.
- 6.40 The architectural devices employed in an attempt to disguise the mass of building only go a limited way towards mitigating its visual impact. Whilst a degree of attention appears to have been paid to the design of the Craven Road frontage, the 'rear' elevations to Erleigh Road are relatively weak in design terms and reveal the bulkiness of the proposal and display this prominently to the adjacent street. It is acknowledged that some attempt has been made to reflect some of the locally distinctive brickwork with the use of patterned bricks proposed on the main facades of the new building. However it is considered that this cosmetic treatment would do little to overcome the more fundamental shortcomings of the scheme in terms of its excessive scale and visual prominence and would do little to compensate for the loss of the existing historic buildings within the site.
- 6.41 The submitted Computer Generated Images (Visually Verified Montages ref. NPA 10858 050 MCS) are considered to demonstrate the excessive scale and unsympathetic relationship to the street quite effectively. The bulk of the northern side of the building viewed from Erleigh Road and also that of the southern side (apparent when travelling northwards towards the site along Craven Road) are key areas of concern.
- 6.42 A scheme which retained the historic building and provided suitably designed new wings of accommodation (designed to reflect and respond to the character of the retained building) would be likely to integrate more effectively within the existing streetscene and wider Redlands area. Therefore, whilst the proposal makes an attempt at integrating the bulk of the building as far as is possible for the amount of development sought, it remains oversized and does not achieve the degree of character exhibited by the existing locally listed building. The quality of design should therefore be afforded some weight, but is not considered sufficient to outweigh the harm arising from the loss of the heritage asset. This weight is diminished further by the alternative that exists in retaining and re-using the existing locally-listed building within a heritage-led scheme which better responds to the existing local distinctiveness (the existing building currently contributes positively to this distinctiveness).
- 6.43 The excessive scale of the building in relation to the plot and the character of the surrounding area is also considered to be harmful in its own right, separate from any heritage concerns, and the proposal is recommended for refusal on this basis as set out in the recommendation at the head of this report.

Heritage Conclusion

- 6.44 Although the current proposals would result in socioeconomic and environmental benefits, in the most part these are not inherently reliant on the demolition of the locally listed building and could be achieved through a more sensitive heritage-led approach which converted the existing building and integrated it within a scheme with new accommodation arranged around it.
- 6.45 The benefits in terms of housing need are significantly lessened by the significant shortfall in the provision of Affordable Housing within and through the scheme, measured against Development Plan policy. Affordable Housing, based on evidence referenced within the SHMA and AMR, is considered to be the pressing housing need locally.
- 6.46 It is apparent that the proposal would result in substantial harm to the heritage significance of the locally listed building due to its complete demolition.
- 6.47 On balance, and based on the available evidence, including the submitted heritage statement and associated supplementary documents and the advice of the Council's Historic Buildings Consultant, it is concluded that the proposed demolition of locally listed 3 Craven Road would result in substantial harm to the heritage significance of the locally listed heritage asset and would be contrary to Policy CS33, national planning policy and guidance within the NPPF and NPPG, together with Historic England published advice. In the view of officers, this harm would not be outweighed by other material considerations.

ii) Existing Community Use

- 6.48 Policy CS31 states that *"Proposals involving the redevelopment of existing community facilities for non-community uses will not be permitted, unless it can be clearly demonstrated that there is no longer a need to retain that facility."* The application states that *"The NHS have confirmed that the existing facilities on the site will be relocated to other local areas so that there will be no loss of the actual facilities provided."*
- 6.49 The Council's Children's Commissioning team, has confirmed that alternative provision has been made for existing children's services within the building and no longer object to the proposal.
- 6.50 Although not yet adopted, it is relevant to note that draft policy ER1b of the Pre-submission Draft Reading allows for residential use of the site and does not require the existing community use to be retained.
- 6.51 Taking these factors into account it is considered that the loss of the existing community use would not be harmful to the provision of the community facilities for children and young people in the Borough and is in accordance with Policy CS31.

iii) Neighbouring Amenity

- 6.52 The Committee report for withdrawn application 160355 referred to the impact on 7 Craven Road. At that time it was understood to be used as a small HMO, with the rear garden used as an informal car parking area. The previous proposals were angled away from this neighbour and less direct overlooking was proposed. The current proposal presents a continuous block of accommodation with three storeys of windows (the third in the roof) facing this neighbour. The proposal would be approximately 18 metres from the garden boundary and 20 metres from the house at number 7. Number 7 is now in use as a single C3 dwellinghouse and the garden

is now used as an amenity area with a large formal decked patio. It is considered that the height, mass and orientation of the proposed building would result in direct and harmful overlooking of the neighbouring garden, especially from second floor level windows and first floor balconies. It is considered that the main windows of the neighbouring house are arranged perpendicular to the new development and would be less affected.

6.53 The proposal would rise to 4 storeys opposite and to the south of 1 and 1A Erleigh Road. The front gardens of these properties are unusual in that they provide the main areas of amenity space for these large houses, which have minimal land to the rear. The previous proposal was considered to be overbearing on these gardens and front facing windows and result in overshadowing to a harmful extent height, mass and proximity. The current proposals are better arranged in relation to these neighbouring properties and it is considered that the proposals would no longer be harmful in this regard. Neighbour comments asking for existing taller trees to be retained are noted. The trees between the new building and 1 and 1A Erleigh Road (a Hazel and a Laurel) are shown as being retained on the submitted drawings.

6.54 The proposed car park would run the length of the boundary with number 7. The submitted landscape plan shows that the existing boundary wall would remain with buffer planting between the parking spaces and boundary. It is considered that, whilst some increased disturbance would occur the layout and buffer planting would be sufficient to prevent harm to the amenity of the neighbour, indeed the any disturbance would be likely to affect occupiers of the retirement flats before it became harmful to the neighbour as the degree of separation and buffer planting would be less.

6.55 It is considered that the proposal would be contrary to Policy DM4 of the Sites and Detailed Policies Document 2012 (altered 2015) and Policy CS15 of the Reading Borough LDF Core Strategy 2008 (altered 2015) due to the harm identified in respect of 7 Craven Road.

iv) Affordable Housing

6.56 The site is proposed to contain 25 dwellings. The developer may choose to restrict occupancy to older occupiers as this fits their business model, but the development would remain within Use Class C3, dwellings, in Planning terms.

6.57 Policy CS16 requires all developments of 15 dwellings and above to provide 30% of the total number of dwellings in the form of Affordable Housing to meet the needs of the area, as defined in a housing needs assessment.

6.58 In accordance national policy, the financial viability of the scheme is a consideration when assessing the appropriate amount of Affordable Housing within a scheme. Policy CS16 reflects this by stating:

“In all cases where proposals fall short of the policy target as a result of viability considerations, an open-book approach will be taken and the onus will be on the developer/landowner to clearly demonstrate the circumstances justifying a lower affordable housing contribution.”

The supporting text to the policy explains that *“the Council will be sensitive to exceptional costs of bringing a site to market such as for reasons of expensive reclamation, or infrastructure costs, or high existing use values. Where applicants can demonstrate, to the satisfaction of the Council, exceptional difficulties in bringing a site to market, the Council will be prepared to consider detailed information on the viability of a particular scheme and, where justified through an open book approach, to reduce the affordable housing requirement.”*

- 6.59 As referred to above, the applicant has submitted a viability assessment suggesting that the scheme is not capable of providing any Affordable Housing on site, but would provide the sum of £168,480 towards off-site provision of Affordable Housing. This equates to a provision of 3.5% Affordable Housing.
- 6.60 The proposed amount falls far short of policy requirements. The extent to which this is justified by financial viability considerations is currently the subject of ongoing negotiations between the applicant and the Council's Valuer. Based on an initial assessment of the submitted viability appraisal, the current figure is not accepted by the Council's Valuer and is therefore considered to be an inadequate contribution towards meeting the housing needs of the Borough and the policy aims of achieving sustainable and inclusive mixed and balanced communities. The Council's Valuer continues to negotiate on this matter. Comments are awaited and will be reported to Committee in an Update Report. The S106 agreement required to secure Affordable Housing has not been progressed due to the other concerns with the scheme. The absence of the agreement means that this should form a reason for refusal, whether or not the amount of Affordable Housing is finally agreed by officers prior to the Committee meeting.
- v) Transport
- 6.61 The comments of the Council's Transport section are set out in detail in section 4 above. It is considered that this is an appropriate assessment and the parking and access aspects of the proposals are in accordance with Policies CS20, CS24, DM12 and the Revised Parking Standards and Design SPD (2011).
- vi) Dwelling Type and Mix
- 6.62 Policy DM5 requires that on new developments for 10 or more dwellings outside the central area and defined district and local centres (which this site is), over 50% of dwellings will be of 3 bedrooms or more, and the majority of dwellings will be in the form of houses rather than flats, having regard to all other material considerations. The current proposal is for 6 one-bed and 19 two-bed flats and therefore does not comply with the main aim of the policy.
- 6.63 Policy DM7 supports the provision of accommodation for vulnerable persons, including elderly persons, especially where located close to healthcare facilities and bus routes, which this site is. Based on this, it is considered that the site is suitable for this type of low level care accommodation in general terms. It is also acknowledged that the type of accommodation sought typically takes the form of flats and as such it is considered that this is a 'material consideration' that allows for a different approach to that sought by Policy DM5 in this instance.
- vii) Amenity of Future Occupiers
- 6.64 The Council's Environmental Protection team have confirmed that the proposal would be acceptable from a noise perspective, provided that the recommendations in the submitted noise assessment are carried out. This can be secured by condition.
- 6.65 The proposed flats would be of a reasonable size and would all have a reasonable outlook and receive adequate daylight.
- 6.66 The proposed outdoor spaces are relatively small, close to roads and overshadowed by the proposed building. On the basis that these spaces would be serving retirement flats, rather than family housing it is considered that this would not be sufficiently harmful to warrant refusal, although it is indicative of a general overdevelopment of the site.

6.67 The proposals are therefore considered to be in accordance with Policies DM4, and CS34 in respect of the amenity of future occupiers. The proposal does not comply fully with Policy DM10 in respect of outdoor space.

viii) Ecology

6.68 The comments of the Council's Ecologist are set out in section 4 above. It is considered that the proposal would be acceptable in respect of protected species on this basis.

6.69 It is considered that appropriate 'wildlife-friendly' planting could be secured within the site by condition.

6.70 The proposals are therefore considered to be capable of being in accordance with Policy CS36.

ix) Trees and Landscaping

6.71 The detailed comments of the Council's Natural Environment Officer are set out in Section 4 above. It is considered that the loss of the street tree would be harmful, as described and the tree protection and landscaping proposals are insufficient. As such the proposals are considered to be contrary to Policies CS7, CS38 and DM18 and recommended for refusal on that basis.

x) Environmental Sustainability

6.72 Policy CS1 requires 50% of the development to meet the Code for Sustainable Homes (CfSH) Level 4 with the remainder Level 3. The CfSH has now been superseded by Building Regulations and as such it is considered that this can no longer be sought. A requirement for an improvement of 19% in energy efficiency over the Target Emission Rate remains in place as a remnant of the Code Level 4 policy requirement (this element has not been superseded by the Building Regulations). It is considered that this standard could be reasonably secured by condition.

6.73 Policy DM1 requires the design of the building to incorporate measures to adapt to climate change. Section 5.4 of the Design and Access Statement addresses this to some extent, although more could be done by reducing the loss of embodied energy through demolition and reducing the built up plot coverage. This would allow more space for planting, with associated shading and cooling benefits, and the potential for a green roof should also be explored further, in accordance with Policy DM1. Whilst this may not be sufficient to warrant refusal, it should be a consideration for any future revised scheme.

xi) Drainage

6.74 The applicant has submitted a Drainage Strategy to address sustainable drainage requirements. This proposes underground surface water attenuation tanks beneath the car park area and a flow control valve, both designed to limit the rate of surface water discharge to the public sewer network.

6.75 The strategy is in accordance with general SuDS principles albeit towards the lower end of the drainage hierarchy set out in the NPPG. The provision of infiltration measures within the site, including permeable paving, green roofs, attenuation ponds etc, would be preferable to the heavily engineered below ground tanks, which ultimately discharge into the public sewer.

6.76 The Lead Flood Authority does not object to the proposals and on balance it is considered that the scheme is acceptable in respect of surface water and groundwater flooding and water quality impacts. As such it is considered that the

proposals comply with national policy and policies CS1 and CS35 of the Core Strategy and Policy DM1 of the Sites and Detailed Policy Document.

xii) Employment Skills and Training

6.77 The proposal is classified as a Major development and as such the requirements of the Employment Skills and Training SPD (2013) apply.

6.78 A detailed plan, or any appropriate financial contribution in lieu of a plan, are required for the Construction Phase based on the SPD requirements and would need to be secured by S106 agreement. The proposals are for Class C3 dwellings and therefore an 'End User Phase' plan is not appropriate.

6.79 The financial contribution sought would be £6,780 based on the proposed floorspace of approximately 2712sqm, in accordance with the SPD formula $\text{£2,500} \times \text{Gross internal floor area of scheme (m}^2\text{)} / 1000\text{m}^2$

6.80 Whilst it is accepted that the applicant is likely to agree to this being secured by S106 agreement, this should form a reason for refusal as a S106 agreement has not been completed at this stage.

xiii) Equality

6.81 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, or sexual orientation. It is considered that there is no indication or evidence (including from consultation on the current application) that the protected groups would have different needs, experiences, issues and priorities in relation to this particular planning application.

7. CONCLUSION

7.1 It is considered that the development would result in substantial harm to the locally listed building within the site and this harm is not outweighed by the benefits of the scheme for the reasons set out above. The proposal would also be harmful to the amenity of neighbours due overlooking. It would also result in harm to the amenity of the area due to the removal of an established street tree.

7.2 The adequacy of the Affordable Housing contribution is to be confirmed by the Council's Valuer. Other S106 requirements, including Employment Skills and Training and Highway works require a completed S106 legal agreement in order to be acceptable. The proposals are therefore recommended for refusal as set out in the recommendation at the head of this report.

Case Officer: Steve Vigar

DRAWINGS

Selection only. Full details available to view at:
http://planning.reading.gov.uk/fastweb_PL/welcome.asp

Proposed Site Plan





East Elevation



North Elevation

Proposed North Elevation (to Erleigh Road/Roundabout)
 Proposed East Elevation (to Erleigh Road/Reading School)

Computer Generated Images - Existing and Proposed - View North from Craven Road



Computer Generated Images - Existing and Proposed - View South from roundabout



Existing View 5



Verified View 1 - Morrison 5

Computer Generated Images - Existing and Proposed - View west from Erleigh Road



Existing View 2



Verified Visual Montage 2

Site Photographs



View west on Erleigh Rd



3 Craven Rd



View north towards site from Craven Rd



View south from London Road at junction with Craven Road

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 7 February 2018

ITEM NO. 14

Ward: Redlands

App No.: 170705/HOU and 170706/HOU

Address: 83 and 83a Christchurch Road

Proposal (identical for both applications): Proposed single storey flat roof rear and side extension resulting in an increase in the size of the C4 (Small HMO) from 4 to 5 bedrooms.

Applicant: Mrs Singh Danda

Date validated: 10 May 2017 (170705) and 17 May 2017 (170706)

Minor Application: Extension agreed until 28 February 2018 for both applications

RECOMMENDATION

Grant.

CONDITIONS TO INCLUDE

1. TL1 The Standard time limit
2. The development hereby approved shall not be carried out other than in accordance with the approved Arboricultural and Landscape Protection Method Statement. (Not recommended for application 170705 - 83 Christchurch Road).
3. AP1 The standard approved plans condition
4. M1 The standard materials to match condition
5. DC1 Vehicle parking space provided in accordance with approved plans

INFORMATIVES TO INCLUDE

1. Pruning of the trees overhanging from 85 Christchurch Road (on one occasion) back to the boundary are approved by virtue of this consent. Any further or future works to trees subject to Conservation Area status will require submission a Section 211 Notice.
2. IF3 Highways
3. IF1 Positive and Proactive Working - approval
4. IF5 Terms
5. IF7 Complaints about construction

1. INTRODUCTION

- 1.1 The determination of these two planning applications was deferred by the Planning Applications Committee on 6th September 2017 to allow “further discussion with the applicant regarding measures to minimise harm to adjacent trees and vegetation, which were considered to be a significant feature within the Redlands Conservation Area.”
- 1.2 The applicant has appointed an experienced arboriculturalist to provide advice on how the proposed extension to 83a Christchurch Road can be built without harming the boundary planting at 85 Christchurch Road. The submitted Arboricultural and

Landscape Protection Method Statement is as follows:

The boundary adjacent to the proposed extension is made up of a variety of species which form a hedge alongside the existing drive. The hedge has been maintained and pruning back hard to the side to the boundary has been necessary to allow continued access to the drive and garage. The trees and bushes making up the hedge are small and unremarkable and apart from the mature cherry alongside the existing garage, which is not affected by the proposal, have limited value in the street scene.

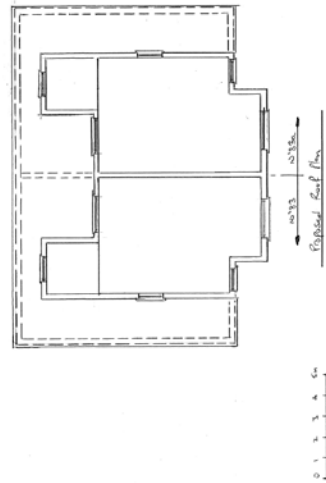
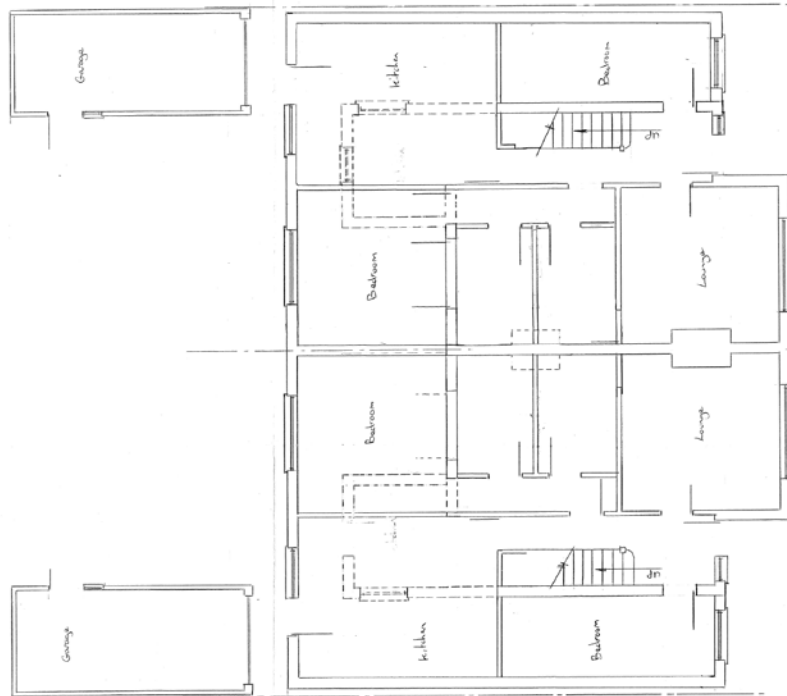
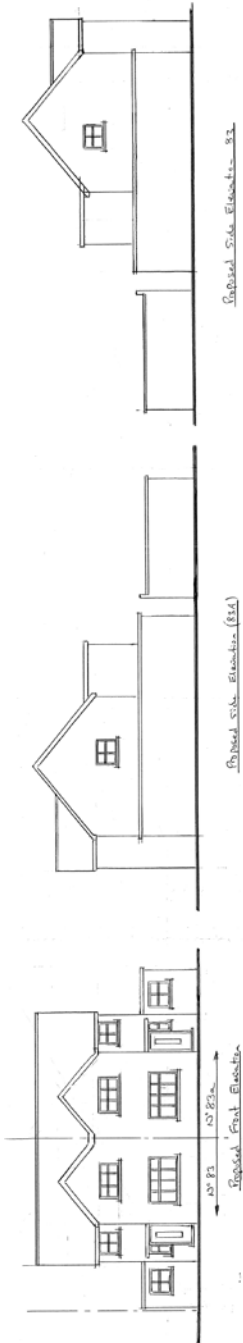
In order to construct the new extension, the boundary vegetation will have to be pruned back to the fence line. This has been carried out in the past on a regular basis and will not be detrimental to the hedge.

The new extension will also require excavation for the foundations. Due to the small size of the trees and bushes I would not expect to find any major roots under the existing concrete drive and as long as the trench is excavated by hand, in line with BS5837:2012 7.2.3, and any roots that are found carefully pruned back to the side of the trench.

The trench should then be lined with plastic to avoid leaching during curing of the concrete, further protection during construction of the walls with plastic sheeting used to form a barrier between the soil and any mortar spillage should also be installed and removed once all work has been completed.

2 READING BOROUGH OFFICER COMMENTS

- 2.1 The Council's Natural Environment Officer has confirmed that the method as described is acceptable. It is recommended that a condition is used to require that the works proceed in accordance with the submitted statement. This would also then approve tree pruning back to the boundary so a separate S211 Notice for tree works would not be required. The informative previously requested re tree works would still be prudent though, with the standard informative adjusted slightly. This is shown above.
- 2.2 Officers are satisfied that the applicant's proposed methods will minimise harm to adjacent trees and vegetation so will protect the character of this part of Redlands Conservation Area. Therefore, subject to the above recommended and amended conditions, these applications are recommended to be granted planning permission.
- 2.3 The proposed block plan has been enlarged to allow easier consideration.



Mrs. Singl. Shook
 Proposed Single Storey
 Cottage with rear
 extension and porch
 83 & 83A Christchurch Road
 Hastings RG2 7BD.
 Proposed floor Plans &
 Elevations.
 1:50
 1:50
 4/17
 Mc. L. 1894/102.

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES
 READING BOROUGH COUNCIL
 PLANNING APPLICATIONS COMMITTEE: 19 July 2017

ITEM NO. 17

Ward: Redlands

App No.: 170705/HOU and 170706/HOU

Address: 83 and 83a Christchurch Road

Proposal (identical for both applications): Proposed single storey flat roof rear and side extension resulting in an increase in the size of the C4 (Small HMO) from 4 to 5 bedrooms.

Applicant: Mrs Singh Danda

Date validated: 10 May 2017 (170705) and 17 May 2017 (170706)

Minor Application: 8 week target decision date: Extension agreed until 31 July 2017 for both applications

RECOMMENDATION

Grant.

CONDITIONS TO INCLUDE

6. TL1 The Standard time limit
7. Any foundation trench along the boundary with 85 Christchurch Road shall be lined with an impermeable membrane prior to concrete being poured. Reason: to protect roots of adjacent vegetation within the Redlands Conservation Area in accordance with Policy CS38. (Not recommended for application 170705 - 83 Christchurch Road).
8. AP1 The standard approved plans condition
9. M1 The standard materials to match condition
10. DC1 Vehicle parking space provided in accordance with approved plans

INFORMATIVES TO INCLUDE

6. The applicant is reminded that any works to trees at 85 Christchurch Road (within the adjacent Redlands Conservation Area) will require the submission of a Section 211 Notice and tree works will not be allowed until 6-weeks from the date of that Notice.
7. IF3 Highways
8. IF1 Positive and Proactive Working - approval
9. IF5 Terms
10. IF7 Complaints about construction

1. INTRODUCTION

- 1.1 83 and 83a Christchurch Road are a pair of small houses in multiple occupation (HMOs) that have 4 bedrooms each, three at first floor level and one on the ground floor. The boundary of 83a abuts the boundary of the Redlands Conservation Area. 85 Christchurch Road is Grade II listed. The site is located opposite the Christchurch Road Local Centre.

- 1.2 This application, which would normally be dealt with under delegated powers, is reported to Planning Applications Committee at the request of Councillor Gavin.



2. PROPOSAL

- 2.1 The application is for single storey side and rear extensions to both houses. Each house will see an increase in the number of HMO rooms from 4 to 5. Two parking spaces will be provided for each property.

3. PLANNING HISTORY

None for either property.

4. CONSULTATIONS

4.1 Statutory:

- No statutory consultations were required given the nature of the application.

4.2 Non-statutory:

- Transport Development Control - no objection
- Natural Environment Officer - no objection
- Councillor Gavin - Notes that these applications have caused a great deal of concern with neighbours.

4.3 Public consultation:

- 10 properties were consulted by neighbour consultation letter. A site notice was displayed by officers. The consultation period expired on 3 July 17.

3 objections to the applications have been received. In summary the comments are:

- Impact on trees
- Detrimental impact on Conservation Area
- Increased traffic flow and impact on safety, parking, environmentally through air quality, safety.
- Impact from increased noise and pollution.
- Impact from paving over of front gardens.
- Potential increase in size of HMO.
- Impact from increased number of tenants.
- Further reduction in size of garden
- Proposal represents an overdevelopment.

A further consultation with neighbours was undertaken on an amended description of development that includes the increase in the number of HMO bedrooms in each property from 4 to 5. No further representations were received at the time of writing. Should any be received before the Committee Meeting these shall be reported as an update

5. RELEVANT PLANNING POLICY AND GUIDANCE

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.

The following local and national planning policy and guidance is relevant to this application:

5.1 Reading Borough Local Development Framework Core Strategy

CS7 (Design and the Public Realm)
CS24 (Car/Cycle Parking)
CS33 (Protection and Enhancement of the Historic Environment)

5.2 Sites and Detailed Policies Document

SD1 (Presumption in Favour of Sustainable Development)
DM9 (House Extensions and Ancillary Accommodation)

5.3 Reading Borough Council Supplementary Planning Guidance

- Parking Standards and Design (Supplementary Planning Document).
- A Design Guide to House Extensions (Supplementary Planning Guidance).

6. APPRAISAL

Main Issues

6.1 The main issues are:

- i. Proposed extensions
- ii. Increase in HMO rooms

Proposed extensions

The proposal involves the erection of side and rear extensions to both 83 and 83a Christchurch Road. They will extend 2.15 metres from the side of the existing properties, and 1.35 metres beyond the rear. These structures will be modest in appearance and will be fully subservient to the host properties. They will have an acceptable visual impact on the host properties, and on the setting of the neighbouring listed building and Conservation Area.

85 Christchurch Road sits forward of 83a, and as such the proposed extension will extend 6.5 metres beyond the rear of this property. Nonetheless, there will be a 3.5 metre gap between the proposed extension and number 85. Furthermore, as noted above, the extension will not extend significantly beyond the existing rear of the host dwelling. It is not considered that the proposed extension to number 83a would have an unduly negative impact on number 85 as a result of loss of light or overbearing.

An objection has been received regarding the potential impact of the extension on plants in the garden of 85 Christchurch Road. The Council's Natural Environment Officer notes that the vegetation along the boundary is a mix of tall shrubs and small trees. It is located in a low raised bed and the ground level of the garden seems to be slightly higher than that at 83a. Given this, any root severance may not be as severe as it otherwise may have been. However, given the proximity of the proposed elevation to the boundary, it is entirely possible that roots will be encountered. They consider it is reasonable to require the applicant to implement simple measures to minimise harm to the future health of the vegetation, which is important to the conservation area. With normal concrete trench foundations, a simple measure would be to line the trench adjacent to the boundary with an impermeable membrane prior to pouring concrete, as concrete is toxic to roots. The applicant has confirmed that this is possible, and it is recommended this is secured by condition, as noted in the recommendation. The Natural Environment Officer has also suggested an informative is included reminding the applicant that any works to trees at 85 Christchurch Road (within the adjacent Redlands Conservation Area) will require the submission of a notice under Section 211 of the Town and Country Planning Act 1990 and tree works will not be allowed until 6-weeks from the date of that Notice.

The extension to 83 Christchurch Road will extend approximately 2.5 metres beyond the rear of 81 Christchurch. This is relatively modest and will ensure that the proposal will not have a detrimental impact on the occupants of number 81.

Increase in HMO rooms

Following a request by officers the applicant has submitted tenancy agreements demonstrating that both properties have been small HMOs (C4 use) since 2011. This pre-dates the introduction, in May 2013, of the Article 4 Direction restricting new C4 uses in this area.

Each dwelling currently has 4 bedrooms. The proposal will result in each have 5 bedrooms. There is no evidence to suggest the level of noise generated from a five bedroom HMO is likely to be significantly greater than a fully occupied family dwelling. The same is true of impacts on traffic flow, air quality and other matters raised by objectors. 5 HMO bedrooms generate a requirement for 1.25 parking spaces. Each dwelling will have 2 off road parking spaces.

It is therefore considered that the impact of the additional HMO bedrooms is acceptable. Following a request by officers the applicant has submitted tenancy agreements demonstrating that both properties have been small HMOs (C4 use) since 2011. This pre-dates the introduction, in May 2013, of the Article 4 Direction restricting new C4 uses in this area.

It is therefore considered that the impact of the additional HMO bedrooms is acceptable.

Equalities impact assessment

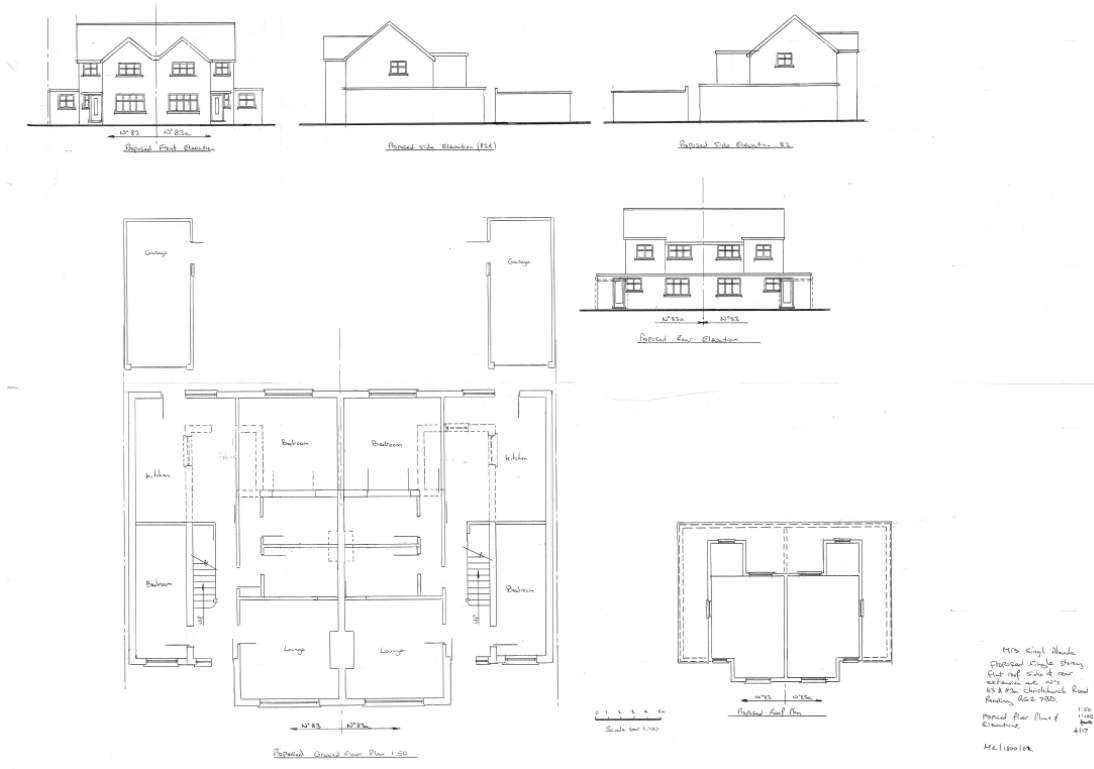
In determining this application the Committee is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, gender, sexual orientation. There is no indication or evidence (including from consultation on the application) that the protected groups have or will have different needs, experiences, issues and priorities in relation to the particular planning application.

In terms of the key equalities protected characteristics it is considered there would be no significant adverse impacts as a result of the development.

7. CONCLUSION

The proposed development is considered to comply with the relevant Development Plan Policies as assessed above. It is therefore recommended that approval be granted, subject to suitable conditions.

Plans: MC/1800/02



Case Officer: Ben Pratley

THAMES

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT AND NEIGHBOURHOOD SERVICES

READING BOROUGH COUNCIL

ITEM NO. 15

PLANNING APPLICATIONS COMMITTEE: 7 February 2018

Ward: Thames

App No.: 172135/FUL

Address: 1 Derby Road, Caversham

Proposal: Change of use from physiotherapy clinic and residential to day School, ancillary to existing school at 14-16a Peppard road (retrospective). Single storey extension [amended description].

Applicant: Innova Schools Ltd.

Date received: 21 December 2017

Minor Application 8 week target decision date: 15 February 2018

RECOMMENDATION:

Delegate to the Head of Planning, Development and Regulatory Services (HPDRS) to GRANT planning permission by 15 February 2018 subject to a S.106 legal agreement to secure:

- (1) Restrict the site to D1 school only and only in connection with the adjacent site known as Caversham Preparatory School and for no other purpose.
- (2) Ensure that the residential dwelling shall not be occupied other than by a person solely or mainly employed or last employed by the School (or a widow or widower of such a person or any resident dependents).

If the S.106 legal agreement is not completed by 15 February 2018, delegate to officers to refuse planning permission, unless the HPDRS agrees to any later extension.

Conditions to include:

1. TL1 Standard three year time limit
2. Approved plans
3. Materials of extension to match main building
4. No commencement of extension before submission and approval of a Construction Method Statement, with all associated construction-related servicing and deliveries to 14a/16 Peppard Road only
5. Parking areas to be retained for school staff and occupiers of the residential dwelling only
6. Garage retained for parking for dwelling only
7. All servicing and deliveries and/or drop off/pick up of children associated with Caversham Preparatory School shall be undertaken at 14a and 16 Peppard Road. No servicing and deliveries and/or drop off/pick up of children associated with Caversham Preparatory School, including the ancillary school use hereby permitted, shall take place from the Derby Road access, as shown on the approved plans. Access to be used for staff and access and visitors to the residential use only.
8. Submission and approval of details of catering delivery trolleys, including noise mitigation arrangements within two months and implementation of such within one month of approval of the details.
9. No installation of any kitchen extraction equipment.

10. No installation of air conditioning, cooling or associated/similar plant unless details submitted and approved
11. The application site, in conjunction with the Caversham Preparatory School site, shall not accommodate more than 100 pupils at any one time
12. Maximum of 55 children on the (1 Derby Road) premises at any one time
13. Use of rooms as shown on approved use plan and no classroom use to be located adjoining the adjacent property at 1a Derby Road
14. Music room only to be in room identified on layout plan (away from boundary with 1a Derby Road)
15. No first use of music room as shown on approved plan until details of soundproofing to a standard approved by the LPA have been submitted, approved and installed. Soundproofing to be maintained thereafter. Suitable noise level to be maintained at boundary/by nearest noise-sensitive receptor (level to be advised).
16. Hours as per planning permission 151663/FUL (and 160522):
 - (a) 0800-1830 Mondays to Fridays
 - (b) Not at all on Saturdays*, Sundays or Bank/Public Holidays
 *with the exception of up to five Saturdays during the months of September - July for activities that are ancillary and subservient to the primary school use.
Reason: in order for the Local Planning Authority to control the intensity
17. No external play area(s) or any other school use to be carried out outside the buildings on the application site?>
18. Non-opening rear window in first floor rear room (computer/design/art studio)
19. Submission of disabled persons' access statement

Informatives:

- Positive and proactive requirement
- Terms and conditions
- A S.106 agreement applies to this planning permission
- Separate approval under the Building Regulations required

1. INTRODUCTION

- 1.1 The application site is approximately 500 sq.m. and consists of a largely single-storey building at the western end of Derby Road (a private Road) at its junction with Peppard Road in Caversham. Historically, the building appears to be Victorian and was believed to be the gatehouse to Caversham Park. The main part of the building maintains its 'lodge' appearance, with single-storey tiled roof, ornate bargeboards and stone window surrounds. The building has been extended in a generally sympathetic style.
- 1.2 The area is predominantly residential along Derby Road and Peppard Road in this area, although to the south of the site are the grounds of Queen Anne's School and to the north of the site (at 14a-16 Peppard Road) is the Caversham Preparatory School and for the purposes of this current planning application, the main school site has been included in blue on the application location plan. Beyond to the North is The Chiltern College, a nursing/childcare training college.

2. PROPOSAL

- 2.1 A broadly similar application (ref. 161168) was considered by your meeting on 9 September 2016 where the Committee resolved to grant planning permission, however, due to the applicant's failure to complete (sign) the s106 agreement, the

application was eventually refused in January 2017. The relevant reports are appended to this committee report.

- 2.2 The proposal is to permit the retrospective change of use of the site from its present mixed/dual residential and physiotherapy clinic use to a D1 educational use and extend part of the accommodation to form a school dining hall. The residential element shall be retained as an ancillary dwelling unit. The educational use is proposed specifically as an extension to the adjacent Caversham Preparatory School and indeed, the 'retrospective' part of the description refers to the fact that although no planning permission has been granted, the owner/operator of the Prep School has been using 1 Derby Road as part of the Prep School since taking ownership in late 2016/early 2017. The 14a-16 Peppard Road site has itself only comparatively recently been granted retrospective planning permission for a school (reference 151663/FUL as amended by 160522/VARIAT) and officers are still considering applications to satisfy those planning conditions. One of the restrictive conditions of that permission is that the maximum capacity of the school shall be 100 pupils on site at any one time, primarily for the purpose of controlling noise and disturbance. This number is not proposed to increase across the enlarged site, were permission to be granted.
- 2.3 The inclusion of the application site as part of the Prep School is in order to allow the school to offer a number of functions which have until now occurred in the nearby Chiltern College or the current school premises at 14a and 16 Peppard Road. However, this has meant that classrooms have to 'double-up' to undertake these activities. The use of the application site would allow the school to undertake these activities separately.
- 2.4 There would be only two external alterations to the property:
- A single storey extension to allow the enlargement of what was the original living/dining-room to the residential part of the residential/physiotherapy unit, to create a school dining hall (this work has not been undertaken, although the present room is already in use as a small dining hall); and
 - The creation of a new pedestrian entrance in the northern curtilage of the building to allow pupils to move between the existing school site and the application site without having to go out onto the pavement on Peppard Road. This alteration was undertaken about a year ago and of itself may not have required planning permission.
- 2.5 Internally, the majority of the minor modifications required were undertaken approximately a year ago, to reduce the original dwelling area to produce the ancillary dwelling. This has created a two-bedroom dwelling which until now has also included an upstairs office/storage area. Since approximately December 2016, this dwelling has been occupied as a dwelling by a relative of the applicant, who is also a teacher at the school and her family. In doing so, the present side garage/parking area and courtyard garden have been retained as part of the amenity area to the dwelling; and although some area would be lost in the courtyard to the dining hall extension, this is not to the main usable area for the dwelling. There would continue to be no kitchen for the school, as the meals would continue to be prepared off-site at St. Anne's School.
- 2.6 No internal alterations are proposed/shown for the existing annexe area and this would be used for the following school functions:

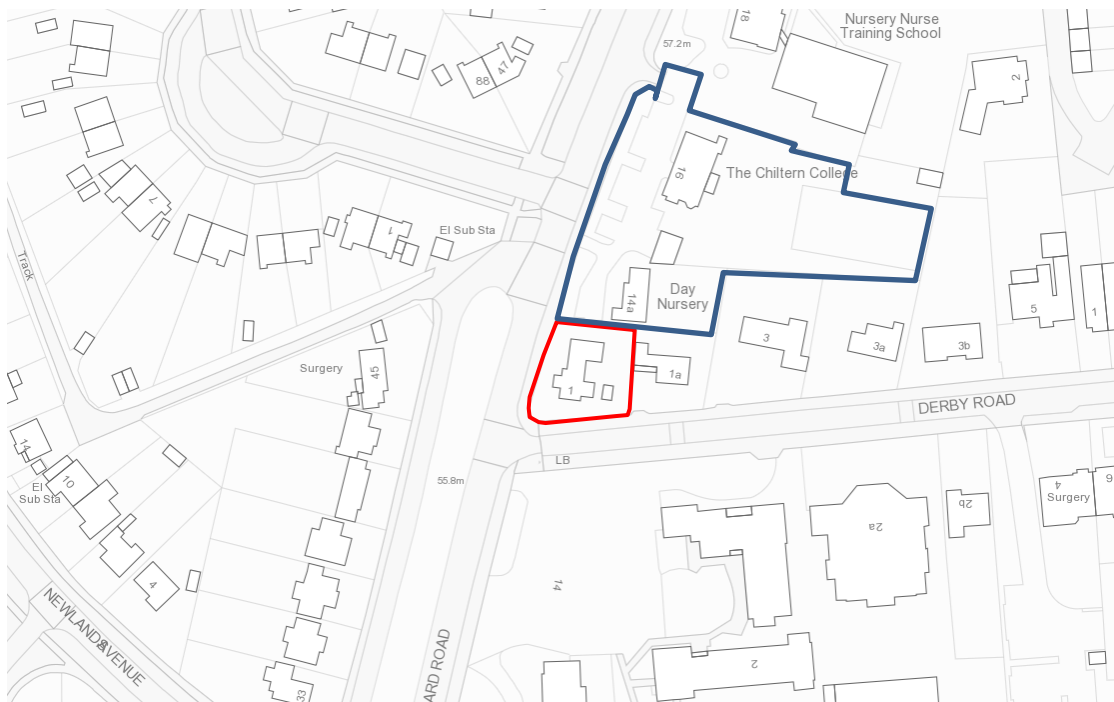
There are four separate ground floor rooms to be used for the following purposes:

- A small music room, suitable for 1:1 tuition only
- A small library
- A further small room for 1:1 drama instruction
- A small room for the dining room servery
- The first floor area of the annexe would be/is being used as a computer and design studio and in contrast to the earlier application, the space over the retained dwelling and the new connecting roof area is indicated for art uses, although this area will have limited headroom.

2.7 Most of the external courtyard garden would be retained, although the privacy of this would now be slightly compromised by the movement of pupils between the buildings and the use of the adjacent dining area at lunchtimes.

2.8 Unlike previous applications which attempted (unsuccessfully) to alter the conditions of the 1994 permission in order to try and change the use to something else - including the planning appeal - this application is in full, for the change of use. The application has been submitted with the following supporting information:

- Planning statement, which includes offering various conditions to support the acceptability of the use
- Application form
- Site plan/block plan
- A sketch plan showing the proposed use of the accommodation
- CIL form



Location Plan (not to scale). The remainder of the Prep School site, to which the School enjoys a lease, is shown edged blue.



Aerial photo looking east, showing the application site in the bottom-right. The white building is 14a Peppard Road and the building further to the left is 16 Peppard Road, both are the principal buildings of Caversham Prep. School. The buildings at the far left are part of Chiltern College.

The CIL Liability for this change of use and extension to form D1 Educational Use is zero as there is no charge for additional school floorspace under the Council's adopted CIL Charging Schedule.

3 PLANNING HISTORY

3.1 The application site has a long planning history:

80/TP/1215	Extension of lounge/ dining/ kitchen/ garage	REFUSED 30/1/81
81/TP/178	Extension to existing bungalow and garage	PERMISSION 31/3/81
90/0965/FD	Single storey extension and internal alterations to rear of existing garage to form granny annexe	PERMISSION 24/10/90
94/0466/FD	Change of use from residential to physiotherapy clinic and residential	PERMISSION 28/7/94
94/1000/FD	Extension to garage wall prior to conversion of garage/annexe to clinic	PERMISSION 31/1/95
98/0849/FD	New garage	PERMISSION 20/11/98
03/00014/FUL	First floor extension to provide additional record storage and admin room	PERMISSION 5/3/03
10/00992/VARIAT: (100042/VARIAT)	Change of use from residential to physiotherapy clinic and residential without complying with condition 6 of planning permission 94/00488/FD - to remove named users from operating clinic.	PERMISSION 29/7/10

151262/VARIAT	Removal of condition 4 (physiotherapy clinic use operated, managed or carried out only by person(s) residing in residential part) and variation of condition 5 (Class D1 clinic/consulting room use only) of permission 10/00992/VARIAT to allow wider uses (all medical and health services, education and any necessary office space) at the Class D1 use part of the premises.	WITHDRAWN 5/10/2015
152208/VARIAR	Removal of condition 4 (physiotherapy clinic use operated, managed or carried out only by person(s) residing in residential part) and variation of condition 5 (Class D1 clinic/consulting room use only) of permission 10/00992/VARIAT to allow wider uses (all medical and health services, education and any necessary office space) at the Class D1 use part of the premises. (resubmission of 151262).	REFUSED 24/5/16. APPEAL ALLOWED 27/4/17. See notes below regarding what allowing this appeal means in use terms, but importantly, it did NOT allow a D1 Educational use).
161168/FUL	Change of use from physiotherapy clinic and residential to day school, ancillary to existing school at 14A-16 Peppard Road.	REFUSED 6/1/17 (for failure to complete s106 agreement).

Discussion in relation to history

- 3.2 From the last two entries above, around this time last year, officers refused planning permission for the change of use of the premises, due to a continued failure to sign the s106 legal agreement, with some six months having elapsed since the Committee's Resolution to grant planning permission.
- 3.3 Concurrently, officers were also considering an appeal by the by then former owners of the property, against the Council's decision to refuse permission to alter various conditions which pertained to the extant/authorised mixed use of the site. Although that appeal was subsequently allowed, the Inspector's decision was clear that in removing two conditions, this in no way allowed any diversion away from the lawful use of the site, which remained in a mixed residential/physiotherapy use. The outcome of this is that the premises have since been operating in unauthorised educational use without planning permission for approximately one year, which is a situation which the owner has been advised by your officers is not acceptable and cannot continue. The owner/operator has been encouraged to submit this planning application in order to regularise the planning use and to bring the operation of the site under planning control.

Relevant history to the application site in terms of Caversham Preparatory School (14a and 16 Peppard Road, formerly known as Chiltern College School)

151663/FUL	Retrospective change of use to a school for 4-11 year-olds (D1 use) and associated alterations to parking/circulation area.	PERMISSION 12/2/16
160522/VARIAT	Application for removal or variation of a	PERMISSION 6/5/2016.

	condition following grant of planning permission. (151663)	
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3.4 Permission 160522 amended various timescales associated with the conditions of permission 151663. Officers are engaged with the owner/operator to secure compliance with various conditions at the present time.

4. CONSULTATIONS

(i) Statutory:

None.

(ii) Non-statutory:

4.1 The Council's Transport Strategy Team does not object, but offers conditions.

4.2 The RBC Environmental Protection Team has confirmed that its response is essentially the same as that set out in respect of the previous planning application (161168/FUL). Their main concern is noise generation affecting the neighbouring residents. Music lessons are likely to be the highest risk for noise generation. The applicant states that the lessons will be held in an internal room, away from the shared party wall and that it will be sound-proofed. There is no information provided to show details of the proposed sound proofing and how that will ensure that adverse noise impact on neighbouring dwellings will be prevented, so concern is maintained and details should be provided.

4.3 The application, if permitted will provide staff car parking meaning that drop-off spaces will be provided away from Derby Road, therefore EP is of the opinion that there will be a reduction in noise disturbance from vehicles on Derby Road. The reduction in vehicle movements means that there is no predicted increase in air pollutants.

4.4 Continues to advise the need to approve details of any kitchen extraction equipment, including a plant noise assessment.

Neighbour consultation:

4.5 Letters were sent to the following addresses:

Derby Road: 1a, 3
 Peppard Road: 14a, 43, 45
 Queen Anne's School
 1 Balmore Drive

A site notice was also displayed.

4.11 At the time of writing, three letters of objection have been received, raising the following concerns:

- Object to the removal of the personal condition placed on the original physio/residential use. *Officer comment: this is not relevant to the application currently under consideration, which must be assessed on its individual planning merits.*

- The consequence has been the intensification and expansion of the building's footprint and the present application would continue this. *Officer Comment: the 2010 application did not increase the footprint of the building.*
- Concern for intensification of noise levels within the site, especially in relation to the party wall which adjoins property to the east.
- Concern for intensification of drainage. *Officer Comment: objectors are referring to an increase in hard surfacing which has already occurred through earlier proposals, but is not significantly affected by this current planning application.*
- There is intensification of deliveries by lorries/vans and by the use of mobile catering trolleys.
- Does not agree with the Planning Statement which considers that the application, 'does not represent an expansion of the school'.
- The pedestrian gate between the main school and the application site is already a cause of noise disturbance and this will only intensify with the application proposal.
- Neighbours are suffering disturbance with the wheeling of metal food trolleys up and down Derby Road from the side entrance gate of Queen Anne's School's side entrance gate three times a day, which is a breach of planning conditions.
- A school is unsuited to Derby Road, as access is already from Peppard Road.

One letter of support has been received, which advises that the excellent facilities at the school will be enhanced by the new hall which will allow for assemblies. Live very close to the site and any congestion nuisance was worse for the clinic than the unauthorised school use which has occurred.

4.13 The Mander Court Residents' Association has responded and considers that permission should be refused because:

- Most residents believe that permission should not be granted for the School to take over ownership of the property and certainly not be granted permission to extend the existing home. *Officer comment: the Local Planning Authority cannot control property ownership in the usual course of deciding on a planning application which has been submitted.*
- The situation of this property is not suitable for additional traffic and pedestrians and since the physiotherapy clinic has closed, deliveries and visitors are being made, hold-ups are created with traffic having to queue along Peppard Road until deliveries are completed and lorries or vans moved.
- Permission was granted by the Council such that should the physiotherapy clinic use cease, the property would revert to a residential home, this decision has not been rescinded, so planning permission should not be granted to the school. *Officer comment: the requirement to cease a use does not preclude the consideration and potential approval of a subsequent planning application.*

5. RELEVANT POLICY AND GUIDANCE

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.

5.2 The following national and local planning policy and guidance is relevant to this application:

5.3 National

National Planning Policy Framework (NPPF):
Section 4 - Promoting Sustainable Transport
Section 8 - Promoting healthy communities

National Planning Practice Guidance

5.4 Reading Borough Local Development Framework: Core Strategy (2008, as amended 2015)

CS1 (Sustainable Construction and Design)
CS4 (Accessibility and the Intensity of Development)
CS5 (Inclusive Access)
CS7 (Design and the Public Realm)
CS17 (Protecting the Existing Housing Stock)
CS20 (Implementation of the Reading Transport Strategy)
CS22 (Transport Assessments)
CS23 (Sustainable Travel and Travel Plans)
CS24 (Car/Cycle Parking)
CS31 (Additional and Existing Community Facilities)
CS34 (Pollution and Water Resources)
CS38 (Trees, Hedges and Woodlands)

5.5 Reading Borough Local Development Framework - Sites and Detailed Policies Document (2012, as amended 2015)

SD1 (Presumption in Favour of Sustainable Development)
DM4 (Safeguarding Amenity)
DM12 (Access, Traffic and Highway-Related Matters)

5.6 Supplementary Planning Documents

Revised Parking Standards and Design (2011)

6. APPRAISAL

6.1 The main issues to consider in this planning application are:

- (i) Principle of the change of use
- (ii) Noise and disturbance to neighbouring residential properties
- (iii) The extension
- (iv) Traffic and transport issues

- (i) Principle of the change of use

6.2 The site received planning permission in June 1994 (Planning Application ref. 94/0488/FD) for the change of use of part of a dwelling to a physiotherapy clinic comprising of 3 No. treatment rooms. A subsequent application was submitted in 2010 under application 10/00992/VARIAT to remove the named users from operating the clinic. In approving, a personal condition (Condition 4) was substituted in the planning permission stating that the clinic shall not be operated, managed or carried out other than by a person or persons who reside in the residential part of the premises.

- 6.3 Officers consider that the extant dual/mixed use has been operated satisfactorily and this is in part due to the nature of the use and the necessary conditions regulating the use. That use has now ceased, although it remains the lawful use of the site.
- 6.4 Whilst educational uses are community-type uses and therefore normally supported by policies SD1 and CS1, they can be unacceptable neighbours, particularly in suburban residential areas, as here. Although the local area contains a number of uses - including educational uses - the prevailing character is one of large family dwellings. An unrestricted D1 use of this site is therefore likely to cause significant concerns in terms of noise and traffic disturbance. These issues have been discussed in earlier planning applications on this site and have led to the withdrawal and refusal of planning permission. In the case of the recent appeal decision, the Inspector declined to alter the type of appeal from a s73 (variation of condition) appeal to the consideration of the overall change of use, as such had not been the subject of consultation or assessment. Therefore, no judgment was made on its suitability at that time.
- 6.5 The question is therefore to what extent any non-conforming/non-residential use can be accommodated in this area which will not cause an unacceptable detriment to amenity and not conflict with policies CS34 and DM4.
- 6.6 The application proposal seeks to extend the use of the adjacent prep. school in order to provide additional school facilities and not to increase the pupil capacity of the school. The accommodation sought for school accommodation amounts to approximately 130 sq.m. and largely involves the present extended annexe area to the current lodge building, but also the original living/dining room to the residential unit and this room is also now proposed to be extended to form the School's dining hall. The attic in the annexe would be used for an art/design/technology studio and the former physio consulting rooms on the ground floor would be used for various 1:1 activities with pupils, the food servery and a small library.
- 6.7 The applicant previously agreed several controlling conditions for the use of the site, such as maintaining the same school hours, to be only connected to the main school site and for the 100 pupil capacity restriction to also apply. These are in general an acceptable approach; but on their own, officers consider them to be insufficient in order to adequately control the activities of the school.
- 6.8 The proposal would retain the majority of the present residential dwelling as a staff flat with two bedrooms. Although this is a much smaller dwelling than previously, it nevertheless provides a suitable family unit and allows the on-site presence of staff for security purposes and to accommodate teaching staff. There is therefore no conflict with Policy CS17 (Retention of the Existing Housing Stock), as there is no loss of a family dwelling unit. However, the residential use should be linked to the D1 school use and officers recommend that were permission to be issued, a S.106 legal agreement is required, as set out in the Recommendation box above. It was in part the failure to secure this control which led to the refusal of the earlier application. The current proposal includes a further reduction in the dwelling's area, which was previously a small first floor office. The current application proposes to use this area for part of the art studio for the school. This change does not significantly affect the usability of the dwelling.

- 6.9 In general, the accommodation appears to lend itself well to the proposed use and relatively few modifications will be required. It should also be noted that although planning permission was not eventually issued, the Committee nonetheless took the decision in September 2016 that a very similar application to this was supportable.
- 6.10 Subject to the discussion below regarding disturbance and transport, officers consider that the proposal is potentially suitable in terms of policies CS17, CS34 and DM4.
- (ii) Noise and disturbance to neighbouring residential properties
- 6.11 As noted above, this is a predominantly residential area and a suitable level of residential amenity must be retained. The Council's Environmental Protection Team considers that a noise assessment is required before determination. This was not requested in the previous application proposal and EP are otherwise content to agree to their previous advice of recommending controlling conditions.
- 6.12 The applicant has been asked about how the building is being used and specifically about numbers of children and hours of use. Of importance is how the dining hall, as to be extended, is to be/is being used. The previous application was concerned for school club activities in this area, although this facility is the obvious location for these activities, providing they are suitably controlled.
- 6.13 The applicant advises that the hall use will of course vary as is the case in all school halls over the course of the day and the course of the year. School Clubs are from 15:30 to 16:30 week days and the hall will be used for these, typically a club has up to 25 children.
- Lunch is 11:45 to 13:15 with two sittings of 48 pupils, always supervised
 - Tea in the hall is 16:30 to 17:00 for those children who stay for after school club until 18:00 (up to 25 stay to 18:00)
 - Pupil movements to and from the main school site to the hall is always supervised.
- 6.14 The above levels of activity are in the hall and away from the boundary with the nearest affected property. Further, the extension of the hall will contain noise and also shield pupil activity during the pupil transitions between school buildings. Given the relatively low-level use and the controls on pupil numbers and traffic movements (see section below), the impact on general residential amenity is, on balance, considered to be acceptable. Officers are however, cognisant of the relatively small size of the site and the issue of intensity of use which could cumulatively (within the site at 1 Derby Road) cause noise disturbance and agree that the applicant's offer of hours and pupil number controls used for the prep school need to apply to this site as well. Additional conditions are recommended to put an overall limit on pupils at the site (55: which will allow for lunchtime peaks) and that there shall be no use of the outside areas as either playground or as teaching areas and a control over boundary noise levels, to be advised (see below).
- 6.15 The property which is potentially most likely to be affected is 1a Derby Road, which adjoins to the east with a party wall. Officers are also aware that there is a resident within this property (near to the boundary) who is particularly sensitive to noise disturbance as they are at home most of the time; however, this fact cannot

be an over-riding planning consideration, although an acceptable level of residential amenity must be maintained to this property. For this application, the applicant has produced historic Building Regulation plans which show the construction of the party wall to attempt to demonstrate a suitable level of sound protection, but officers are not convinced by this information alone.

- 6.16 Officers have discussed the potential impacts with RBC Environmental Protection. They consider that the proposed music room is of most concern in noise terms and sound transmission into the neighbouring adjoining dwelling in particular. The music room is shown on the plan to be located in a room which does not adjoin 1a Derby Road, therefore, provided that music lessons only take place in the room identified and adequate soundproofing is installed, there should be no noise concern from the neighbouring property and to secure this, a suitably-worded condition will be required to maintain an appropriate noise level at the nearest noise-sensitive receptor (adjacent property) with a level to be advised by RBC Environmental Protection prior to your meeting.
- 6.17 On the current proposed sketch layout plans, the only use that is in a room adjoining the neighbour's property is the Drama room, but given that sessions are likely to be 1:1, the EP team is not overly concerned. However, the plans are unclear about what may occur in the current reception area which was for the physiotherapy use. A condition is therefore recommended that the uses are as set out in the sketch plan. The use of this area is probably primarily to receive the wheeled food trolley deliveries. No kitchen is proposed at present, but were that situation to change, then conditions shall require full details to be considered.
- 6.18 The applicant has confirmed that the attic space in the annexe which was formerly used as records storage for the physiotherapy use, would be used as a computer, design and art studio for around 18 children at a time. This room has a mix of rooflights and small windows and due to the steep skelings which reach the floor, the useable floor area would be somewhat smaller than shown on the plans and pupils would be distant from the edge of the room in most cases. The attic nature of the room over a single storey also means that lateral sound transmission through the party wall to 1a is unlikely. As a precaution, the rear-facing window (which is near to the boundary with No. 1a) should be fixed shut at all times. Officers are however, concerned that this room may need cooling (if used as an IT room, for instance) and a condition is recommended for no external plant to be installed, unless details have first been submitted and approved. As no kitchen is proposed and no details have been provided, a condition is also recommended that no venting systems are installed.
- 6.19 Two other areas of potential concern for residential nuisance are the pedestrian gate and the wheeling of trolleys. The construction of the extension should help to attenuate any disturbance from the gate which may be occurring. The wheeled trolleys are more difficult to control, as although they are preferable to vans/lorries, they can rattle along the road, causing disturbance. Controlling this may be possible on the roadway by the residents as Derby Road is a private road, nonetheless, officers are currently recommending that conditioning a strategy for controlling the noise, including potentially the use of rubberised wheels, is secured in order to quieten the deliveries.
- 6.13 The EP Team at the time of the previous application in 2016 has however, provided a useful overall comment on the change of use: *"The school use is a big change*

from the former use for physiotherapy and some sound may well be noticed by the neighbours as you would normally hear neighbours in an adjoining property, but it is unlikely to be at nuisance levels". Whilst this is helpful, officers consider that the various conditions recommended are necessary to ensure that the impact on the character of the area - and 1a in particular - is a long way from a nuisance level, although the perception of the use is likely to be inevitable.

- 6.14 In terms of disturbance and harm to amenity, officers acknowledge that a level of disturbance may occur if this use is not carefully managed. The use of the site also allows the school to operate in premises which are less constrained, thereby allowing activities to be better managed and spread out and this could reduce incidences of neighbour disturbance. However, with the conditions recommended, officers are prepared to advise that residential amenity would be able to be maintained and policies CS34 and DM4 complied with.

(iii) The Extension

- 6.15 The principal difference between this planning application and 161168/FUL in design terms is that the applicant now wishes to include an extension to the school dining hall. This would extend the present dining room 3.6m northwards and 8.5m in westward length, effectively 'squaring up' the building within the courtyard. This part of the courtyard has until now been bisected by a dividing wall. A new pitched roof would be used and the roof ridge would be slightly lower than the rest of the property. In terms of impact on the streetscene, the proposal is single storey only and set back and in design terms, would complement the existing building. An area of the courtyard would be lost, but in terms of the retained dwelling, this area was around the corner of the building, away from the unit and the dwelling is nonetheless a 'caretaker' type situation on site, where the privacy of the amenity space is already going to be compromised by the comings and goings of children between the dining hall and the main school buildings. The additional floor area involved (internally) is 24 sq.m. and by condition, the space would not allow an increase in pupils, but would provide a more spacious school dining hall. No additional concerns are considered to arise in terms of Policy DM4 (neighbour disturbance) over and above the discussion in the section above and the extension is considered to be suitable in terms of Policy CS7 (design) and DM10 (amenity space provision).

(iv) Traffic and transport issues

- 6.15 A number of residents are concerned for increases in traffic movements, safety and parking concerns as a result of the use. However, the Highway Authority remains content that the use involves a reduction in traffic movements and there is no policy conflict identified. The use of the parking area at the site will be limited to teaching staff and the ancillary dwelling only. This arrangement would benefit the school, where potential traffic conflicts between school drop-offs and staff are removed, by separating these. Whilst the staff movements are at peak times on the road network, the Highway Authority acknowledges that the number of movements will be low and overall, this is expected to be less intensive than the present lawful use of the site. With conditions on servicing/drop offs and parking, no conflict is identified with policies CS4, CS20, CS24 or DM12. Cycle parking and other servicing will continue to operate from Peppard Road. The school has already undertaken the car parking upgrades required by the retrospective planning permission for the school which was granted in February 2016. Officers

advise that the separation of the drop-offs/deliveries and the staff parking seems to be working satisfactorily.

Other matters

Sustainability

- 6.16 As there is only minor additional built accommodation and only very minor internal alterations required to facilitate the change of use, officers advise that a condition to secure energy improvements is not appropriate in this case and the proposal complies with Policy CS1. The new extended area would need to comply with the latest thermal efficiency requirements in Part L of the current Building Regulations.

Disabled persons' access

- 6.17 As with the retrospective school permission, there are aspects of the building which are not ideal for disabled people, especially the awkward stairs to the first floor area. An access study should set out how the applicant intends to accommodate persons (whether staff, visitors or pupils) who have special access needs, in order to comply with Policy CS5. These matters are likely to have to be attended to under the Building Regulations in any event.

Design/Landscaping

- 6.18 There are limited external alterations to the building, meaning some of the present internal courtyard will be lost, but this has no effect on the public nature of any landscaping. Some objectors consider that the site should be returned to its former use (a house only) and object to the loss of soft landscaped areas which has occurred. Whilst there is a limited opportunity to introduce some soft landscaping to the edges of the property, this would not be appropriate to require via condition as there is only a limited area of additional development. Officers are content that there is no conflict with Policies CS7 and CS38.

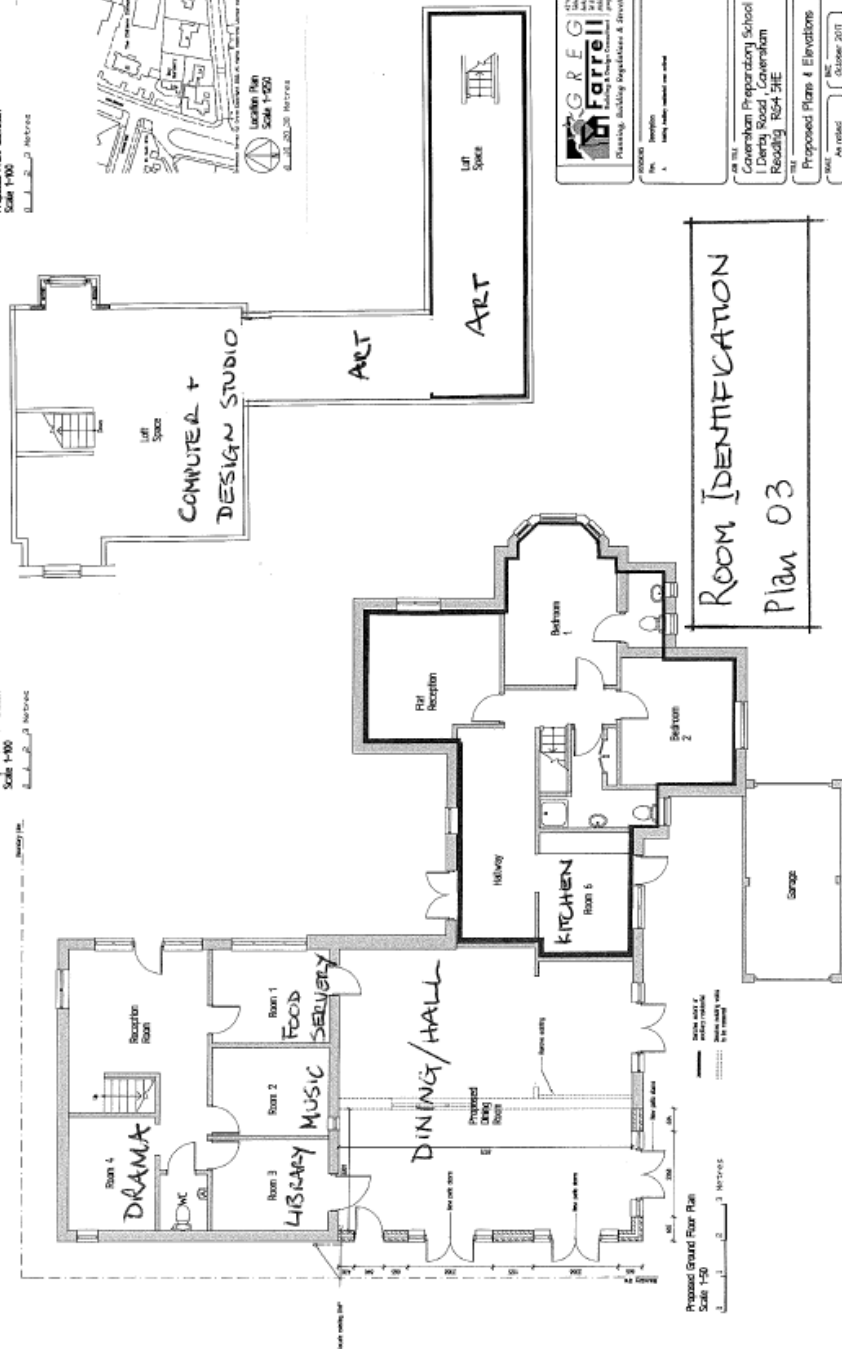
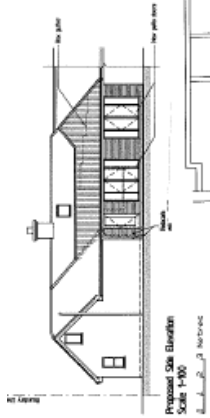
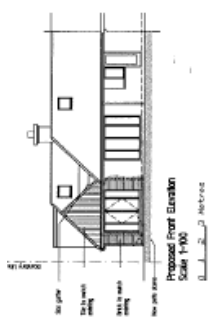
7. CONCLUSION

- 7.1 The lawful mixed use, as confirmed by the planning appeal, has been a suitable low-level use, where the residential character and amenities of the area have been maintained. The proposed use, which has now been operating in an uncontrolled manner, is a D1 non-conforming use and clearly has the ability to cause an increase in disturbance, if not subject to very careful control. Although the use has been operating on site for the last year or so, this has been without the benefit of planning permission and officers advise that this unregulated use cannot be allowed to continue. Given the planning history of this site, including an incomplete compliance with planning conditions, officers are recommending that permission is only to be granted with a s106 legal agreement.
- 7.2 In transport terms and notwithstanding the concerns which have been received, officers are satisfied that the use of the access at Derby Road will not intensify and clearly, the ability of the adjacent school site to accommodate all servicing, deliveries and drop-offs is a significant mitigating factor. Whilst some residents are concerned for the increase in deliveries in Derby Road, the overall split of traffic between the Peppard Road and Derby Road accesses is considered to be

appropriate to the function of the school and acceptable in terms of the functioning of the local road network.

- 7.3 On the matter of maintaining residential amenity, the issues are more finely balanced and as with application 161168, officers have felt it necessary to include a range of conditions within the Recommendation box above. The use of, say, an adjoining wall to 1a Derby Road being used by a classroom for 15 children or even five for a music lesson could easily result in an unacceptable relationship. A commercial kitchen within the current physio reception area would need to be fully assessed. The conditions must ensure that this is not allowed to happen in order to comply with Policy DM4, to protect the occupants of 1a from unreasonable noise/other disturbance.
- 7.4 Overall, and taking the above considerations into account, officers are prepared to recommend that this permission be GRANTED, with the range of conditions proposed and the S.106 agreement.

Case Officer: Richard Eatough



ROOM IDENTIFICATION
Plan 03

GREG Farrell
 Planning, Building Regulations & Structural Design

100/101
 100/101
 100/101

100/101
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COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT AND NEIGHBOURHOOD SERVICES READING BOROUGH COUNCIL PLANNING APPLICATIONS COMMITTEE: 7 SEPTEMBER 2016	ITEM NO.
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Ward: Thames

App No.: 161168/FUL

Address: 1 Derby Road, Caversham

Proposal: Change of use from physiotherapy clinic and residential to day school, ancillary to existing school at 14A-16 Peppard Road.

Applicant: Innova Schools Limited

Date received: 6/7/2016

Minor Application 8 week target decision date: 23/9/2016 (PPA date)

RECOMMENDATION:

Subject to receipt of satisfactory plans showing a scaled layout of the school and residential uses, and definitive function of all rooms/areas, delegate to the Head of Planning, Development and Regulatory Services (HPDRS) to GRANT planning permission subject to a S.106 legal agreement to secure:

- (3) Restrict the site to D1 school only and only in connection with the adjacent site known as Caversham Preparatory School and for no other purpose.
- (4) Ensure that the residential dwelling shall not be occupied other than by a person solely or mainly employed or last employed by the School (or a widow or widower of such a person or any resident dependents).

If the S.106 legal agreement is not completed by 23 September 2016, delegate to officers to refuse planning permission (unless the HPDRS agrees to any later extension).

Conditions to include:

20. TL1 Standard three year time limit
21. Approved plans
22. Parking areas to be retained for school staff and occupiers of the residential dwelling only
23. Garage retained for parking for dwelling only
24. All servicing and deliveries and/or drop off/pick up of children associated with Caversham Preparatory School shall be undertaken at 14a and 16 Peppard Road. No servicing and deliveries and/or drop off/pick up of children associated with Caversham Preparatory School, including the ancillary school use hereby permitted, shall take place from the Derby Road access, as shown on the approved plans. Access to be used for staff and access and visitors to the residential use only.
25. No installation of any kitchen extraction equipment
26. No installation of a/c, cooling or associated plant unless details submitted and approved
27. The application site, in conjunction with the Caversham Preparatory School site, shall not accommodate greater than 100 pupils at any one time
28. Maximum of 55 children on the premises at any one time
29. Use of rooms as shown on use plan and no classroom use to be located adjoining

- the adjacent property at 1a Derby Road
30. Music room only to be in room identified on layout plan (away from boundary with 1a Derby Road)
 31. No first use of music room as shown on approved plan until details of soundproofing have been submitted, approved and installed. Soundproofing to be maintained thereafter.
 32. Hours as per planning permission 151663:
 - (a) 0800-1830 Mondays to Fridays (with outside break-times as follows: a maximum of 15 minutes between the hours of 0800 and 1200 and a maximum of one hour between the hours of 1200 and 1400)
 - (b) Not at all on Saturdays*, Sundays or Bank/Public Holidays
 *with the exception of up to five Saturdays during the months of September - July for activities that are ancillary and subservient to the primary school use. Reason: in order for the Local Planning Authority to control the intensity
 33. No external play area(s)
 34. Non-opening rear window in first floor rear room (art/design/technology studio)
 35. Submission of disabled persons' access statement

Informatives:

- Positive and proactive requirement
- Terms and conditions
- A S.106 agreement applies to this planning permission
- Separate approval under the Building Regulations required

4 INTRODUCTION

4.4 The application site is approximately 530 sq.m. and consists of a largely single-storey building at the western end of Derby Road (a private Road) at its junction with Peppard Road in Caversham. Historically, the building appears to be Victorian and was believed to be the gatehouse to Caversham Park. The main part of the building maintains its 'lodge' appearance, with single-storey tiled roof, ornate bargeboards and stone window surrounds. The building has been extended in a generally sympathetic style.

4.5 The area is predominantly residential along Derby Road and Peppard Road in this area, although to the south of the site are the grounds of Queen Anne's School and to the north of the site (at 14a-16 Peppard Road) is the Caversham Preparatory School.

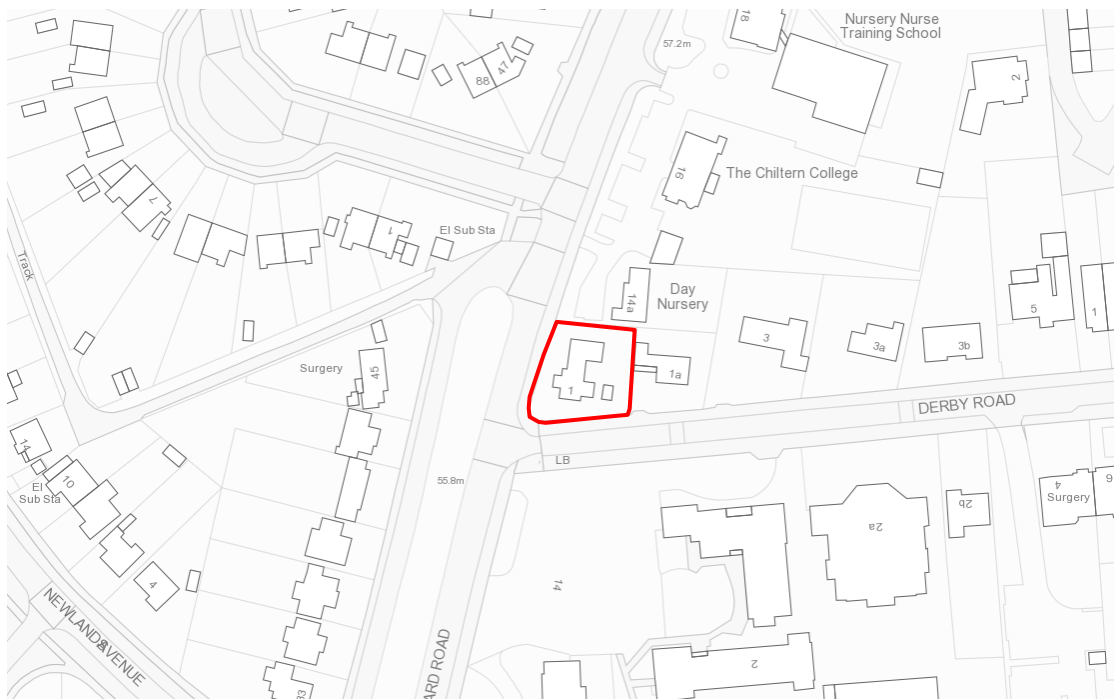
5 PROPOSAL

- 2.1 The proposal is to change the use of the site from its present mixed/dual residential and physiotherapy clinic use to a D1 educational use. This educational use is proposed specifically as an extension to the adjacent Caversham Preparatory School. That site, itself has only recently been granted retrospective planning permission for a school (permission 151663) and officers are still considering applications to satisfy the planning conditions. One of the restrictive conditions of that permission is that the maximum capacity of the school shall be 100 pupils on site at any one time, primarily for the purpose of controlling noise and disturbance. This number is not proposed to increase across the enlarged site, were permission to be granted.

- 2.2 The inclusion of the application site as part of the prep school would allow the school to offer a number of functions which currently occur in the nearby Chiltern Nursing College or the current school premises at 14a and 16 Peppard Road. However, this often means that classrooms have to 'double-up' to undertake these activities. The use of the application site would allow the school to undertake these activities separately.
- 2.3 There would be no external alterations to the property, save for the creation of a new pedestrian entrance in the northern curtilage of the building. This would allow pupils to move between the existing school site and the application site without having to go out onto the pavement on Peppard Road.
- 2.4 Internally, minor modifications are likely to be required to reduce the present dwelling area to produce the ancillary caretaker's dwelling. This would be a two-bedroom dwelling which also includes an upstairs office/storage area. It would retain the present side garage/parking area and courtyard garden. The present living room and the dining area of the house would be used as the school dining room for the consumption of hot meals (there would be no kitchen, as the meals would continue to be prepared off-site). No connection to the remainder of the proposed D1 area is shown - the area within the annexe - and indeed, there is a large fireplace and chimney breast in this location.
- 2.5 No internal alterations are currently proposed for the existing annexe area and this would be used for the following school functions:
- A small music room, suitable for 1:1 tuition only
 - A small room for tuition of children with Special Educational Needs (SEN). 1:1 only
 - A further small room for 1:1 speech and drama instruction
 - A small storeroom for catering trolley/etc.
 - The first floor area of the annexe would be used as an art, design and technology studio. This area would also be used at lunchtimes for children who take packed lunches
- 2.6 The external courtyard garden would be retained, although the privacy of this would now be slightly compromised by the movement of pupils between the buildings and the use of the adjacent dining area at lunchtimes.
- 2.7 Unlike previous applications which attempted (unsuccessfully) to alter the conditions of the 1994 permission in order to try and change the use to something else - including the pending planning appeal which is in progress - this application is in full, for the change of use. The application has been submitted with the following supporting information:
- Planning statement, which includes offering various conditions to support the acceptability of the use
 - Application form
 - Site plan/block plan
 - A sketch plan showing the proposed use of the accommodation



View of the application site from Derby Road



Location Plan (not to scale)

6 PLANNING HISTORY

3.1 The application site has a long planning history:

1 Derby Road

80/TP/1215: Extension of lounge/dining/kitchen/garage REFUSED 30/1/81

81/TP/178: Extension to existing bungalow and garage PERMISSION 31/3/81

90/0965/FD: Single storey extension and internal alterations to rear of existing garage to form granny annexe PERMISSION 24/10/90

94/0466/FD: Change of use from residential to physiotherapy clinic and residential PERMISSION 28/7/94

94/1000/FD: Extension to garage wall prior to conversion of garage/annexe to clinic PERMISSION 31/1/95

98/0849/FD: New garage PERMISSION 20/11/98

03/00014/FUL: First floor extension to provide additional record storage and admin room PERMISSION 5/3/03

10/00992/VARIAT: (100042) Change of use from residential to physiotherapy clinic and residential without complying with condition 6 of planning permission 94/00488/FD - to remove named users from operating clinic. PERMISSION 29/7/10

151262/VARIAT Removal of condition 4 (physiotherapy clinic use operated, managed or carried out only by person(s) residing in residential part) and variation of condition 5 (Class D1 clinic/consulting room use only) of permission 10/00992/VARIAT to allow wider uses (all medical and health services, education and any necessary office space) at the Class D1 use part of the premises. WITHDRAWN 5/10/2015

152208 Removal of condition 4 (physiotherapy clinic use operated, managed or carried out only by person(s) residing in residential part) and variation of condition 5 (Class D1 clinic/consulting room use only) of permission 10/00992/VARIAT to allow wider uses (all medical and health services, education and any necessary office space) at the Class D1 use part of the premises. (resubmission of 151262). REFUSED 24/5/16 APPEAL IN PROGRESS.

Caversham Preparatory School (14a and 16 Peppard Road, formerly the Chiltern College School)

151663 Retrospective change of use to a school for 4-11 year-olds (D1 use) and associated alterations to parking/circulation area. PERMISSION 12/2/16.

4. CONSULTATIONS

(iii) Statutory:

None.

(iv) Non-statutory:

4.1 The Council's Transport Strategy Team comments as follows:

4.2 The site has been subject to two previous planning applications where the Highway Authority raised concerns for the traffic impact of an unfettered D1 use. It was considered that the parking layout and provision did not comply with the Council's adopted Parking Standards to allow an unrestricted D1 use.

4.3 The current application is for the change of use from a physiotherapy clinic and residential to day school, ancillary to Caversham Preparatory School at 14A-16 Peppard Road. The proposed school use is to provide facilities for children and staff at the existing school to replace the accommodation to be lost inform the use of Chiltern College. The school does not propose to increase the number of pupils beyond the 100 permitted by condition no. 4 on the 2016 permission.

4.4 The submitted parking plan illustrates that the site can provide up to six parking spaces, four spaces on the forecourt (numbered 1-4) and two spaces to the west of the building of which one space is provided within a single garage. Residential accommodation will be retained within the building for staff, therefore, parking spaces numbered 5 and 6 should be reserved for staff residing in the residential

accommodation. The remaining spaces (numbered 1-4) will be reserved for staff only. The additional staff spaces will increase the availability of drop-off parking spaces for parents at the principal school buildings accessed from Peppard Road. All drop-off and collection of pupils will remain within the existing school grounds i.e. not at the application site. The applicants have confirmed that they have no objection to conditions, to secure:-

- i. Parking areas to be used by staff only;
 - ii. Use to be restricted to day school;
 - iii. Any residential use to be ancillary to principal D1 use and occupied by staff;
 - iv. Total number of parking spaces on site not to exceed six
 - v. No pupil drop-off or collection from the site or from Derby Road;
- 4.5 The Transport Statement supporting the 2015 planning application to vary conditions 4 and 5 estimated a potential for 72 traffic movements in a 12 hour period for the existing lawful physiotherapy use when operating at its maximum capacity. The current proposal reduces the number of parking spaces on site to six. Assuming a worst case scenario, with all six members of staff leaving the site and returning during the working day (i.e four two-way trips) this would only generate 24 movements per day although in practice this is more likely to be ten movements (i.e. one in and one out for each vehicle). If it is assumed the live-in member of staff also made a two-way trip each day, the very worst scenario would give 26 movements.
- 4.6 Given that the current proposal is likely reduce the number of vehicular trips when compared to the existing lawful physiotherapy use, there are no objections to the proposal on traffic grounds. Conditions are recommended.
- 4.7 The RBC Environmental Protection Team's main concern is noise generation affecting the neighbouring residents. Music lessons are likely to be the highest risk for noise generation. The applicant states that the lessons will be held in an internal room, away from the shared party wall and that it will be sound-proofed. There is no information provided to show details of the proposed sound proofing and how that will ensure that adverse noise impact on neighbouring dwellings will be prevented.
- 4.8 The application if permitted will provide staff car parking meaning that drop-off spaces will be provided away from Derby Road, therefore I am of the opinion that there will be a reduction noise disturbance from vehicles on Derby Road. The reduction in vehicle movements means that there is no predicted increase in air pollutants.
- 4.9 We would need to approve details of any kitchen extraction equipment, including a plant noise assessment.

Neighbour consultation:

- 4.10 Letters were sent to the following addresses:

Derby Road: 1a, 3
Peppard Road: 14a, 43, 45
Queen Anne's School
1 Balmore Drive

A site notice was also displayed.

4.11 12 letters of objection have been received, raising the following concerns:

- Does not believe the building is suitable for the conversion
- Physiotherapy treatments are inherently quiet in nature. In contrast, the annex of a primary school will involve children arriving in groups, teachers will be issuing instructions and making themselves heard so it will be inherently noisy at times, causing disturbance to neighbours
- Concern for increased disturbance, particularly on the nearest affected property (1a Derby Road)
- Concerned that there would be a classroom or assembly area on the other side of the party wall with 1a Derby Road, causing noise disturbance. This is likely to be used for drama or music.
- Increased intensity of use will change the character of the area and set a precedent for further uses
- The car park has been extended out into Derby Road, impeding wheelchair access along the road. *Officer comment: the area in front of the application site is part of the Derby Road highway, which is a private road. This area in front of the property appears to have been gravelled for additional parking, whereas originally, it may have been a grass verge. Any issues with the works to this land must be undertaken as a Civil matter between the owners of the road, which is likely to include the individual dwellings on Derby Road. This is not considered to be material planning consideration to this planning application*
- Planning permission was given for a small clinic to be run from the house at No.1. Considers that only either the physiotherapy use should continue or the property should revert to residential use
- There will be traffic generation from staff arriving and leaving and parents dropping off children. This will be at peak times, as opposed to throughout the day, as with the present physiotherapy use
- Considers there to be insufficient on-site parking for the proposed use
- Derby Road is used as a cut-through. Parents will use the end of Derby Road for pick-up/drop off at this restricted entrance
- Concern for highway and pedestrian safety, given proximity to the one-way gates on Derby Road and lack of pavements on Derby Road and poor visibility due to the entrance piers
- The proposal will result in increased car parking on Derby Road
- A similar application (152208) was refused previously for sound and practical reasons, nothing has changed and the traffic problem has got worse so this application should also be refused
- The applicant has mentioned the pedestrian link to the School to the north, but this is not shown on any plans.
- Concern for a creeping intensity of development in the area. Not acceptable for the school to need to operate with a large sound barrier. *Officer comment: the acoustic control measure relates to the adjacent school site. This current planning application needs to be considered on its individual planning merits.*
- Failure to display the site notice for the requisite period. *Officer comment: a replacement site notice was sent to the applicant.*

4.12 Two letters of support have been received from the present occupiers of the site. They point out that schools are always struggling for sufficient space and facilities for their pupils and feel this will therefore benefit the community. The school has an excellent Ofsted report and this will further benefit the school's requirements.

Traffic will be greatly reduced on Derby Road and no external alterations will be made to the building.

4.13 The Mander Court Residents' Association has responded and considers that permission should be refused because:

- The proposed use of the site was understood to revert to residential on cessation of the physiotherapy use
- The location of the site at the restricted access to Derby Road is unsuitable for anything other than residential use
- Derby Road is increasingly used as a rat-run and this will only increase as a result of the proposal

8. RELEVANT POLICY AND GUIDANCE

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. Material considerations include relevant policies in the National Planning Policy framework (NPPF) - among them the 'presumption in favour of sustainable development'.

5.2 The following national and local planning policy and guidance is relevant to this application:

5.3 National

National Planning Policy Framework (NPPF):
Section 4 - Promoting Sustainable Transport
Section 8 - Promoting healthy communities

National Planning Practice Guidance

5.4 Reading Borough Local Development Framework: Core Strategy (2008, as amended 2015)

CS1 (Sustainable Construction and Design)
CS4 (Accessibility and the Intensity of Development)
CS5 (Inclusive Access)
CS7 (Design and the Public Realm)
CS17 (Protecting the Existing Housing Stock)
CS20 (Implementation of the Reading Transport Strategy)
CS22 (Transport Assessments)
CS23 (Sustainable Travel and Travel Plans)
CS24 (Car/Cycle Parking)
CS31 (Additional and Existing Community Facilities)
CS34 (Pollution and Water Resources)
CS38 (Trees, Hedges and Woodlands)

5.5 Reading Borough Local Development Framework - Sites and Detailed Policies Document (2012, as amended 2015)

SD1 (Presumption in Favour of Sustainable Development)
DM4 (Safeguarding Amenities)
DM12 (Access, Traffic and Highway-Related Matters)

5.6 Supplementary Planning Documents

Revised Parking and Design Standards (2011)

9. APPRAISAL

6.1 The main issues to consider in this planning application are:

- (v) Principle of the change of use
- (vi) Noise and disturbance to neighbouring residential properties
- (vii) Traffic and transport issues

(v) Principle of the change of use

9.2 The site received planning permission in June 1994 (Planning Application No 94/0488/FD) for the change of use of part of a dwelling to a physiotherapy clinic comprising of 3 No. treatment rooms. A subsequent application was submitted in 2010 under application 10/00992/VARIAT to remove the named users from operating the clinic. On this basis, a personal condition (Condition 4) was included in the planning permission stating that the clinic shall not be operated, managed or carried out other than by a person or persons who reside in the residential part of the premises.

9.3 Officers consider that the present dual/mixed use has been operated satisfactorily and this is in part due to the nature of the use and the necessary conditions regulating the use.

9.4 Whilst educational uses are community-type uses and therefore normally supported by policies SD1 and CS1, they can be unacceptable neighbours, particularly in suburban residential areas, as here. Although the local area contains a number of uses - including educational uses - the prevailing character is one of large family dwellings. An unrestricted D1 use of this site is therefore likely to cause significant concerns in terms of noise and traffic disturbance. These issues have been discussed in earlier planning applications on this site and have led to the withdrawal and refusal of planning permission. The question is therefore to what extent any non-conforming/non-residential use can be accommodated in this area which will not cause an unacceptable detriment to amenity and not conflict with policies CS34 and DM4.

9.5 The application proposal seeks to extend the use of the adjacent prep. school in order to provide additional school facilities and not to increase the pupil capacity of the school. The accommodation sought for school accommodation amounts to approximately 100 sq.m. and largely involves the present extended annexe area to the current lodge building. The currently living/dining room to the house will be used as the school's dining room. The attic in the annexe would be used for an art/design/technology studio and the former physio consulting rooms on the ground floor would be used for various 1:1 activities with pupils.

9.6 The applicant has offered several controlling conditions for the use of the site, such as maintaining the same school hours, to be only connected to the main school site and for the 100 pupil capacity restriction to also apply. These are in general an acceptable approach; but on their own, officers consider them to be insufficient.

9.7 The proposal would retain the majority of the present residential dwelling as a staff flat with two bedrooms. A definitive layout for this accommodation has been sought from the applicant and will need to be supplied in the Update Report, in order to confirm that a suitable layout is delivered. This will allow the on-site

presence of staff for security purposes and this is likely to be one of the teaching staff. There is therefore no conflict with Policy CS17 (Retention of the Existing Housing Stock), as there is no loss of a family dwelling unit. There will be a slight reduction in residential amenity to this unit, with children filing into the adjacent dining-room at lunchtime. But this is only once a day and is to be expected with this caretaker-type residential unit. However, the residential use should be linked to the D1 school use and officers recommend that were permission to be issued, a S.106 legal agreement is required, as set out in the Recommendation box above.

- 9.8 In general, the accommodation appears to lend itself well to the proposed use and relatively few modifications will be required. Subject to the discussion below regarding disturbance and transport, officers consider that the proposal is potentially suitable in terms of policies CS17, CS34 and DM4.

(vi) Noise and disturbance to neighbouring residential properties

- 9.9 As noted above, this is a predominantly residential area and a suitable level of residential amenity must be retained. Given the relatively low-level use and the controls on pupil numbers and traffic movements (see section below), the impact on general residential amenity is, on balance, considered to be acceptable. Officers are however, cognisant of the relatively small size of the site and the issue of intensity of use which could cumulatively (within the site at 1 Derby Road) cause noise disturbance and agree that the applicant's offer of hours and number controls used for the prep school need to apply to this site as well. Additional conditions are recommended to put an overall limit on pupils at the site (55: which will allow for lunchtime peaks) and that there shall be no use of the outside areas as either playground or as teaching areas.
- 9.10 The property which is most likely to be affected is No. 1 Derby Road, which adjoins to the east with a party wall. Objectors also note that there is a resident within this property (near to the boundary) who is particularly sensitive to noise disturbance; however, this fact cannot be an over-riding planning consideration, although an acceptable level of residential amenity must be maintained to this property.
- 9.11 Officers have discussed the potential impacts with RBC Environmental Protection. They consider that the proposed music room is of most concern in noise terms and sound transmission into the neighbouring adjoining dwelling in particular. The music room is shown on the plan to be located in a room which does not adjoin 1a Derby Road, therefore, provided that music lessons only take place in the room identified and adequate soundproofing is installed, there should be no noise concern from the neighbouring property, provided that the door is closed during instruction. These matters are proposed to be controlled via conditions.
- 9.12 On the current proposed sketch layout plans, the only use that is in a room adjoining the neighbour's property is the SEN room, but given that sessions are likely to be 1:1, the EP team is not overly concerned. However, the plans are unclear about what may occur in the current reception area which was for the physiotherapy use. A condition is therefore recommended that the uses are as set out in the sketch plan, but in any event, this plan is poor and officers have requested a revised plan to show clearly and to scale, the definitive use of the building, as there must be no ambiguity if residential amenity is to be maintained.

- 9.13 The applicant has confirmed that the attic space in the annexe which was formerly used as records storage for the physiotherapy use, would be used as an arts/design/technology studio for up to 18 children at a time. This room has a mix of rooflights and small windows and due to the steep skelings which reach the floor, the useable floor area would be somewhat smaller than shown on the plans and pupils would be distant from the edge of the room in most cases. The attic nature of the room over a single storey also means that lateral sound transmission through the party wall to 1a is unlikely. As a precaution, the rear-facing window (which is near to the boundary with No. 1a) should be fixed shut at all times. Officers are however, concerned that this room may need cooling (if used as an IT room, for instance) and a condition is recommended for no external plant to be installed, unless details have first been submitted and approved. As no kitchen is proposed and no details have been provided, a condition is also recommended that no venting systems are installed.
- 6.13 The EP Team has, however, provided a useful overall comment on the change of use: “The school use is a big change from the former use for physiotherapy and some sound may well be noticed by the neighbours as you would normally hear neighbours in an adjoining property, but it is unlikely to be at nuisance levels”. Whilst this is helpful, officers consider that the various conditions recommended are necessary to ensure that the impact on the character of the area - and 1a in particular - is a long way from a nuisance level, although the perception of the use is likely to be inevitable.
- 6.14 In terms of disturbance and harm to amenity, officers acknowledge that a level of disturbance may occur if this use is not carefully managed. On balance, however, and with the conditions recommended, officers are prepared to advise that residential amenity would be able to be maintained and policies CS34 and DM4 complied with.

(vii) Traffic and transport issues

- 6.15 A number of residents are concerned for increases in traffic movements, safety and parking concerns as a result of the use. However, the Highway Authority is content that the use involves a reduction in traffic movements and there is no policy conflict identified. The use of the parking area at the site will be limited to teaching staff and the ancillary dwelling only. This arrangement would benefit the school, where potential traffic conflicts between school drop-offs and staff are removed, by separating these. Whilst the staff movements are at peak times on the road network, the Highway Authority acknowledges that the number of movements will be low and overall, this is expected to be less intensive than the present lawful use of the site. With conditions on servicing/drop offs and parking, no conflict is identified with policies CS4, CS20, CS24 or DM12. Cycle parking and other servicing will continue to operate from Peppard Road. The school has already undertaken the car parking upgrades required by the retrospective planning permission for the school which was granted in February 2016.

Other matters

Sustainability

- 6.16 As there is no additional built accommodation and only very minor internal alterations required to facilitate the change of use, officers advise that a condition to secure energy improvements is not appropriate in this case and the proposal complies with Policy CS1.

Disabled persons' access

- 6.17 As with the retrospective school permission, there are aspects of the building which are not ideal for disabled people, especially the awkward stairs to the first floor area. An access study should set out how the applicant intends to accommodate persons (whether staff, visitors or pupils) who have special access needs, in order to comply with Policy CS5. These matters are likely to have to be attended to under the Building Regulations in any event.

Design/Landscaping

- 6.18 No external alterations to the building are proposed. Some objectors consider that the site should be returned to its former use (a house only) and in doing so, the garden should be reinstated. Whilst there is a limited opportunity to introduce some soft landscaping to the edges of the property, this would not be appropriate to require via condition as there is no additional development to need to mitigate. Officers are content that Policies CS7 and CS38 are complied with.

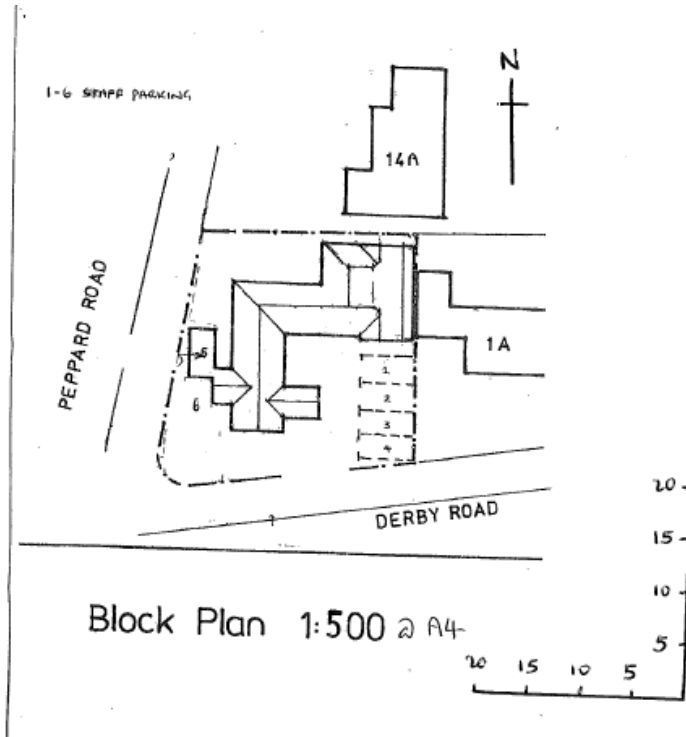
10. CONCLUSION

- 7.1 The lawful mixed use is considered to have been a suitable low-level use, where the residential character and amenities of the area have been maintained. The proposed use is a D1 non-conforming use and clearly has the ability to cause an increase in disturbance, if not subject to very careful control.
- 7.2 In transport terms and notwithstanding the concerns which have been received, officers are satisfied that the use of the access at Derby Road will not intensify and clearly, the ability of the adjacent school site to accommodate all servicing, deliveries and drop-offs is a significant mitigating factor.
- 7.3 On the matter of maintaining residential amenities, the issues are more finely balanced. The sketch plan offered by the applicant for the use of the rooms is incomplete and not clear; hence officers have felt it necessary to include a range of conditions within the Recommendation box above. The use of, say, an adjoining wall to 1a Derby Road being used by a classroom for 15 children or even five for a music lesson could easily result in an unacceptable relationship. The conditions must ensure that this is not allowed to happen in order to comply with Policy DM4, to ensure that noise amenity is adequately safeguarded for the occupants of 1a.
- 7.4 Overall, and taking the above considerations into account, officers are prepared to recommend that this permission be GRANTED, with the range of conditions proposed and the S.106 agreement.

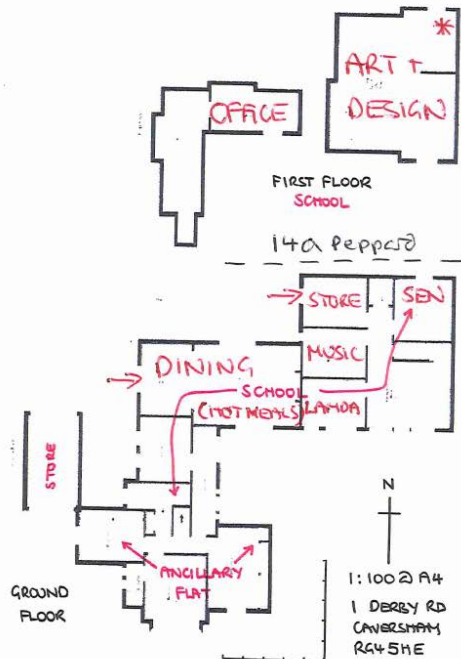
Case Officer: Richard Eatough

Plans:

Location plan, 1:500 Block plan, Sketch use plan



ART/DESIGN - up to 2. staff
and 18 pupils
OFFICE - 2. staff



LAMDA = 1:1
speech + drama
instruction
SEN = Special
Educational Needs
1:1 staff: pupil
* ALSO use by
Lunch-box pupils
for dining
→ door entry

1a Derby

MUSIC: 1:1 staff
and pupil.

DINING 3 staff 45
infants 12 - 12.30 pm
3 staff 45
juniors 12.30 - 1 pm

UPDATE REPORT:

BY THE DIRECTOR OF ENVIRONMENT & NEIGHBOURHOOD SERVICES READING BOROUGH COUNCIL PLANNING APPLICATIONS COMMITTEE: 7 September 2016	ITEM NO. 11
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Ward: Thames
 App No.: 161168
 Address: 1 Derby Road, Caversham
 Proposal: Change of use from physiotherapy clinic and residential to day school, ancillary to use of 14A-16 Peppard Road.

RECOMMENDATION AMENDED TO:

Delegate to the Head of Planning, Development and Regulatory Services (HPDRS) to GRANT planning permission subject to a S.106 legal agreement to secure:

- (5) Restrict the site to D1 school only and only in connection with the adjacent site known as Caversham Preparatory School and for no other purpose.
- (6) Ensure that the residential dwelling shall not be occupied other than by a person solely or mainly employed or last employed by the School (or a widow or widower of such a person or any resident dependents).

If the S.106 legal agreement is not completed by 23 September 2016, delegate to officers to refuse planning permission (unless the HPDRS agrees to any later extension).

Changes to conditions as follows:

2, 10, 11, 12, 15: Approved plans to reference new updated layout plans received 7 September 2016.

13: adjust to omit outside break-times (which are not applicable to this application site)

Additional conditions:

- Submission of location of pedestrian connection between application site and 16/14a Peppard Road.
- No after school clubs or other clubs of any sort shall be held in the proposed dining room as identified on approved layout plan received 7th September 2016

1. ADDITIONAL PLANS

1.1 The report on the main Agenda recommends the grant of permission (with a legal agreement) subject to the submission of satisfactory plans. The applicant has now supplied clearer plans and these are attached to this Update Report.

1.2 Regarding the school use, the plans now clearly identify the rooms as they are now numbered, and the function of each is indicated. For clarity, the are:

Dining room of house: School dining room

Room 1: Lamda (1:1 drama tuition)
Room 2: Music (1:1 music tuition)
Room 3: Store
Room 4: Special Educational Needs (SEN) (1:1)
Ground floor open area: 'Reception Room'
First floor: 'Art and DT (Design and Technology)'

- 1.3 Paragraph 6.7 of the main report also seeks confirmation of the extent and layout of the staff dwelling and this is now clearly shown with the division between the school and the dwelling and a two bedroom unit with a living/dining room (labelled, 'flat reception room') on the easterly projecting wing of the dwelling. Given the immediate relationship with the school use which surrounds it, this dwelling would not be acceptable for accommodation unconnected to the school, hence the requirement in the suggested Section 106 clause not to dispose of the unit separately from the school use.
- 1.4 The plans are clear, but are not scalable. However, usually on change of use applications, scalable layouts are not required and in this case, officers feel that there is sufficient information to be able to enforce the use of the spaces and are content that a suitable floorspace and layout is afforded to the dwelling. On balance, officers recommend that the layout is acceptable and with adjustments to the conditions (see Recommendation above), this is now acceptable.
2. UPDATE ON DISTURBANCE TO NEIGHBOURING DWELLING AND ADDITIONAL OBJECTIONS RECEIVED
- 2.1 One additional letter of objection has been received since the publication of the main Agenda but no new issues have been raised. However, a further objection has been received from a previous objector which does raise additional objections/concerns, which are as follows:
- Concerned for the overall hours of use of the application site. It is possible, even probable that the dining room will be used for breakfast clubs and for after-school activities. Requests that any activities there start after 9am at the earliest.
 - Highly likely that some parents will drop off and collect children in Derby Road, causing disturbance and danger. Request that there should be no direct access from Derby Road into the school, which would discourage parents and children from accessing the school from Derby Road.
 - The noise from the various activities would be apparent to the adjoining neighbouring property (1a Derby Road) as there is no soundproofing proposed. Does not consider that with ventilation requirements during hot weather, the use can be run without unacceptable disturbance to the adjoining neighbour.
 - There should be no deliveries to the school (and particularly to the dining room) via Derby Road. Also concerned for the disposal of waste and the storage of food, as there is already a rat problem in Derby Road.

- 2.2 In response to these points, officers comment as follows.
- 2.3 Confirmation on the before and after school hours use of the application site has been sought from the applicant who has confirmed that the application site is not to be used for before and after school clubs, nor is it to be used for holiday clubs.
- 2.4 Officers are however, aware of an inconsistency in the main report, where Condition 13 inadvertently refers to outside break-times, when Condition 14 precludes outside play areas. Condition 13 should be adjusted accordingly.
- 2.5 Disturbance through drop-offs and pick-ups is covered in the main report (and Condition 5), but the request not to have direct access between 1 Derby Road and the remainder of the school requires assessment. The prohibition of the school operator from moving pupils and staff between adjoining sites in their ownership/control is considered to be unreasonable and it would also expose children to unnecessary and unacceptable highway danger. However, the comings and goings may be apparent to the neighbour and it would be reasonable for the applicant to confirm the exact location of the connection between the two sites, which is not shown. An additional condition to require this is recommended.
- 2.6 Regarding soundproofing, the main report generally covers these concerns and the updated plans provide additional comfort on the identification and use of the various rooms and spaces. Furthermore, whilst the neighbouring property technically adjoins the application site, the party wall to the neighbouring property abuts 1a's carport, garage and utility rooms, therefore none are habitable rooms to that property and lateral sound transmission is not considered to be likely to be at a level where an unacceptable level of neighbour disturbance will occur. This is supplemented by Conditions 10 and 11 of the main report which keep noise-generating rooms away from the party wall/common boundary. The distance from the proposed school dining room windows to 1a's windows are some 15 or more metres window to window (straight line distance) with intervening structures in between (ie. both buildings themselves).
- 2.7 The objector is concerned for deliveries, waste disposal and storage. Recommended Condition 5 already adequately covers these associated vehicle movements. Waste storage and collection on Derby Road is only for the dwelling only, therefore an existing situation. Food waste is also likely to be minimal with no food preparation on the premises. It is anticipated that school hot food deliveries will be received at Peppard Road and then moved through to the courtyard area and into the dining-room, thereby avoiding Derby Road.

3. CONCLUSION

- 3.1 Officers consider that there is now a suitable level of information available to be able to recommend this application favourably and with the updated conditions and the legal agreement, the proposal is considered to accord with the Council's policies concerned with traffic and disturbance, notably policies CS34, DM4 and DM12.

Case Officer: Richard Eatough



Total area: approx. 230.4 sq. metres (2544.2 sq. feet)
This floorplan is not to scale. They are for guidance only and accuracy is not guaranteed. Plans produced by Proventur Studios.
Plans produced using PlanUp.

WHITLEY

COMMITTEE REPORT

BY THE DIRECTOR OF ENVIRONMENT AND NEIGHBOURHOOD SERVICES
READING BOROUGH COUNCIL
PLANNING APPLICATIONS COMMITTEE: 7th February 2018

ITEM NO. 16

Ward: Whitley
App No.: 171971/FUL
Address: 1 Darwin Close, Reading.
Proposal: Demolition of existing building and erection of two storey building for Class B1 and Class B8 uses with associated parking and hardstanding.
Applicant: The White Partnership
Date valid: 10th November 2017
Major Application Target decision date: 9th February 2018
26-Week date: 11th May 2018

RECOMMENDATION

Delegate to the Head of Planning & Regulatory Services to:

- (i) GRANT Full Planning Permission, subject to the satisfactory completion of a S.106 legal agreement or
(ii) to REFUSE permission should the legal agreement not be completed by the 07/03/2018 unless a later date is agreed by the Head of Planning Development & Regulatory Services.
The S106 legal agreement to secure:

Employment Skills and Training Plan to meet the requirements of the Council's Employment Skills and Training SPD (2013) relating to the construction and operational (end user) phases of the development. The plan to be submitted to the Council at least one month before works commencing.

OR

Equivalent financial contributions towards Employment Skills and Training of £5,227 (construction phase), payment to be index-linked and made at least one month before works commencing, and £8,888 (end user phase) payment to be index-linked and made at least one month prior to first occupation.

CONDITIONS TO INCLUDE:

1. Time limit
2. Approved plans
3. Materials details as submitted.
4. Landscaping details-
5. Landscaping implementation
6. Landscaping replacement for 5 years.
7. Boundary treatments (including details of security fencing).
8. Vehicle parking space provided in accordance with approved plans
9. Vehicle access provided in accordance with approved plans
10. Bicycle parking - plans to be approved
11. Delivery and Servicing Plan
12. Development in accordance with approved Construction Method Statement
13. External lighting- details to be submitted and approved.
14. Development in accordance with SuDs details submitted

15. Hours of working - construction and demolition phase
16. Contaminated land
17. BREEAM Very Good status requirement
18. Noise assessment for plant and equipment
19. Bonfires

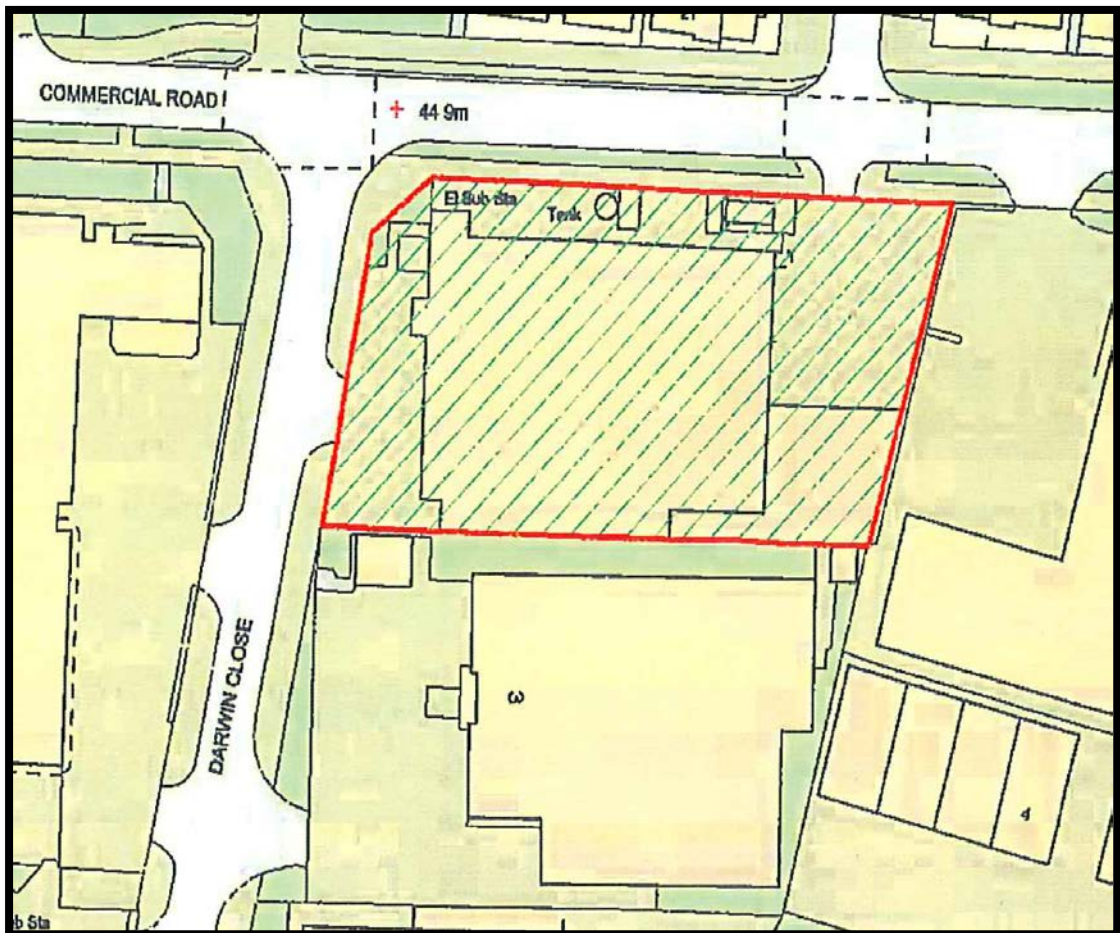
INFORMATIVES TO INCLUDE

1. Policy informative.
2. Terms and conditions.
3. Damage to highway - Section 59 of the Highways Act 1980.
4. Best practices measures to keep noise levels down; including ‘white noise’ reversing alarms and the turning off of HGV engines when not in use.
5. Positive and pro-active.
6. Section 106

1. INTRODUCTION

Site and surrounding area

- 1.1 The application site is as shown on the plan below. The application site extends to approximately 0.3ha and is currently occupied by a building with a footprint of some 1,627sqm. It contains office floorspace at first floor level. The premises have been in use until July 2017 as a commercial laundry cleaning business, a Sui Generis use. This land is designated as a core employment area within the Reading Local Plan.



Location Plan (not to scale)

1.2 Directly to the north of the site on Commercial Road is the Kennet Island housing development comprising mainly 2 and 3 storey blocks of houses and flats. To the west side across Darwin Close is a 6-storey office block, immediately to the south side is a 2-storey printing office and various retail warehouse units to the south on Darwin Close

1.3 The site is accessed from both Commercial Road and Darwin Close.

2 PROPOSAL

2.1 The development proposal is for the redevelopment of an existing vacant industrial unit (2,025m²) on land on the corner of Darwin Close/Commercial Road and erection of a two-storey building for Class B1 and Class B8 uses with some ancillary office space on the first floor.

2.2 The total GFA of the proposed development is 2,291m² resulting in a net increase of 266m² of B1(c)/B8 use on the site.

Detailed breakdown

- Ground Floor: 1,400 sqm
- First Floor: 891 sqm

2.3 The specific proposed use of the proposed building will be for the assembly of roller shutters and the fit out of offices, together with associated storage and ancillary office space.

2.4 The proposed building will utilise the existing access points to the site off Darwin Close and Commercial Road. 15 new car parking bays, 7 van bays, lorry loading bays and 10 cycle spaces are proposed.

2.5 Following concerns raised by the Council's Natural Environment Officer regarding the removal of mature conifer trees along Commercial Road within the site, which were considered to provide useful screening of the industrial buildings from the residential properties on Kennet Island, amended plans were submitted. The amended plans provide for some replacement tree planting in the same location.

3 The application is supported by the following documents and plans

- Planning, Design and Access Statement
- Ecological Appraisal
- Drainage Strategy Report
- Phase I Site Appraisal (Geo-Environmental Assessment)
- Transport Statement
- Noise Assessment
- Sustainability Statement
- Air Quality Assessment
- Existing and Proposed Plans

3.1 There was no pre-application discussion between the applicant and officers.

4 RELEVANT PLANNING HISTORY

4.1 911008 - Change of use from industrial to general laundry use with new external storage facilities and 28m high flume. Permitted May 1991

5 CONSULTATIONS

Non-statutory

- 5.1 RBC Transport Strategy - No objection to the proposal subject to conditions on parking spaces, cycle storage and compliance with submitted construction method statement.
- 5.2 RBC Environmental Protection - No objection subject to conditions to deal with potential noise, light, land contamination and air quality issues.
- 5.3 RBC Natural Environment (Trees) - Following submission of amended plans, raises no objection subject to conditions.
- 5.4 Reading UK CIC - No objection subject to provision of an acceptable Employment Skills Plan.
- 5.5 RBC Transport Strategy (SUDs) - No objection subject to conditions requiring the implementation of the approved Drainage Strategy.

6 Public consultation

A site notice was displayed and consultation letters were sent to properties adjoining the application site.

No letters were received following the public consultation.

7 RELEVANT PLANNING POLICY AND GUIDANCE

7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan unless material considerations indicate otherwise. The following local and national planning policy and guidance is relevant to this application:

7.2 National planning policy guidance:

- Chapter 1 (Building a Strong, Competitive Economy)
- Chapter 4 (Promoting Sustainable Transport)
- Chapter 7 (Requiring Good Design)
- Chapter 10 (Meeting the Challenge of Climate Change)
- Chapter 11 (Conserving and Enhancing the Natural Environment)

7.3 Reading Borough Local Development Framework Core Strategy (2008) policies:

- CS1 (Sustainable Construction and Design)
- CS2 (Waste Minimisation)
- CS4 (Accessibility and the Intensity of Development)
- CS5 (Inclusive Access)
- CS7 (Design and the Public Realm)
- CS9 (Infrastructure, Services, Resources and Amenities)
- CS10 (Location of Employment Development)
- CS13 (Impact of Employment Development)
- CS20 (Implementation of The Reading Transport Strategy)
- CS22 (Transport Assessments)
- CS24 (Car/Cycle Parking)
- CS34 (Pollution and Water Resources)
- CS35 (Flooding)

7.4 Reading Borough Sites and Detailed Policies Document (2012) policies:

- DM1 (Adaptation to Climate Change)
- DM2 (Decentralised Energy)
- DM3 (Infrastructure Planning)
- DM4 (Safeguarding Amenity)
- DM11 (Access, Traffic and Highway-Related Matters)
- DM17 (Tree Planting)
- SA1 (South Reading Development Principles)
- SA12d (Bennet Road)

7.5 Other relevant local planning documents:

- Employment Skills and Training SPD (April 2013);
- Revised Supplementary Planning Document (SPD) on Planning Obligation under s106 (Nov 2013);
- Revised Parking Standards and Design SPD (Oct 2011), and
- Sustainable Design and Construction SPD (July 2011).

8 APPRAISAL

8.1 The main issues for consideration are:

- Principle of development;
- Impact on the character and appearance of the surrounding area;
- Impact on amenity;
- Transport implications;
- Sustainable Urban Drainage system
- Trees and Ecology;
- Other considerations.
- Skills and training
- Equality

i) Principle of development

8.2 The site is located in South West Reading in an area identified within the Core Strategy as appropriate for additional employment development. Core Strategy CS10 highlights that major employment uses, including industrial, storage and distribution must be directed to the A33 corridor. The site lies within designated Core Employment Area SA12d; Bennet Road where the location for industrial and warehouse uses as proposed is considered acceptable. The proposal intends to bring the site back to employment use in accordance with this policy. In addition the NPPF seeks to ensure the building of a strong, competitive economy. The principle of the proposed use is therefore considered acceptable subject to assessment of the development impact in terms of visual and residential amenity, transport implications, landscaping, drainage and sustainability.

ii) Impact on the character and appearance of the surrounding area

8.3 Core Strategy Policy CS7 requires that all development must be of high design quality that maintains and enhances the character and appearance of the area in which it is located. The proposal is for a two-storey warehouse/industrial building, the layout and scale of which have been influenced by the existing building footprint and the scale and size of surrounding buildings. As highlighted within the submitted Planning, Design and Access Statement, the majority of the surrounding buildings are either two-storey or three-storey, and therefore the proposed building will be entirely appropriate for this location.

8.4 The proposed building is to be constructed of a steel frame with metal sheet cladding, glazing and a brickwork plinth along the base. It would be modern in appearance and

would be an improvement when compared to the existing tired dated buildings on the site, which are to be demolished. The redevelopment will improve the visual outlook for occupiers of residential properties opposite the site on Commercial Road, with the proposed tree planting providing partial screening to the building. In terms of design, size, scale and appearance the proposed building is considered to accord with policy CS7 and the NPPF.

iii) Impact on amenity

- 8.5 The proposed development would be close to the residential development at Kennet Island, across Commercial Road. The Council's Environmental Protection Officer has indicated that complaints have been received previously about noise disturbance from deliveries at the site when it was previously operating as a laundry. To mitigate the impact of noise on nearby receptors, the Officer has recommended a condition be imposed controlling late night and early morning deliveries associated with the future development. In addition, a condition would also be added requiring submission of noise assessment details in accordance with BS4141:2014 methodology for plant and equipment prior to installation.
- 8.6 The development lies on the site of an historic engineering works which has the potential to have caused contaminated land. A phase 1 desk study has been undertaken and recommends that a further intrusive phase 2 investigations is undertaken. The Council's Environmental Protection Officer has recommended that the Investigation must be carried out by a suitably qualified person to ensure that the site is suitable for the proposed use or can be made so by remedial action. As such a condition would be added requiring the phase 2 investigations to ensure that future occupants are not put at undue risk from contamination.
- 8.7 To prevent potential noise, dust and bonfires associated with the construction (and demolition) of the proposed development and possible adverse impact on nearby residents (and businesses), the Council's Environmental Protection Officer has recommended appropriate conditions. It should be noted that acceptable details of noise and dust control have been submitted as part of a Construction Method Statement. With the conditions in place, it is considered the development would not be detrimental to the amenities of the adjoining properties.
- 8.8 In terms of any potential impact on residential amenity, and subject to adherence to the recommended conditions, the proposed development therefore complies with Core Strategy Policy CS34 and with SDPD Policy DM4.

iv) Transport implications

Parking

- 8.9 RBC Transport has assessed the proposals and concluded that the proposals are acceptable in transport terms. The site is located within Zone 3, Secondary Core Area, of the Council's adopted Parking Standards and Design SPD. In accordance with the adopted SPD, the development would be required a parking provision of 1 space per 100m² equating to 22 parking spaces.
- 8.10 Currently the site can accommodate 8 parking spaces in an informal arrangement. Revised plans submitted provide a total of 16 parking spaces. RBC Transport notes that Darwin Close and the surrounding road network are restricted by 'No Waiting' (DYL) restrictions which maintain visibility splays at junctions, therefore, a small shortfall in parking is acceptable. In addition the current proposals provide a higher ratio of on-site parking than the current use; therefore, overall the development will not increase the

demand for on-street parking over and above the existing levels associated with the current use. RBC Transport has assessed the amended parking layout and considered it acceptable as it now provides adequate manoeuvrability for cars approaching the parking spaces at a 45-degree angle.

Access

- 8.11 It is proposed that the access for the development will utilise the existing access from Commercial Road and Darwin Close. An AutoCAD tracking analysis has been undertaken using a Rigid Truck (12.0m), a Light Van (5.9m) and a Large Car (5.079m) to show that the vehicles can enter the site, manoeuvre into bay parking/servicing areas and exit the proposed development safely. Large vehicles servicing the site would reverse into the loading bays as they do currently. The access arrangements are therefore considered acceptable.

Vehicle trips

- 8.12 Given the small increase in floor area (266sqm), it is anticipated that the development will result in an increase in daily vehicle trips from the site. However, details submitted illustrate that the development will result in a minimal increase in trips during am and pm peak hours. As such, the development proposals will have a negligible impact on the surrounding highway network.
- 8.13 A minimum of 9 cycle parking spaces will be required for the development which is to be provided within an external store. A condition would be added to ensure further details are submitted to ensure the cycle parking facilities comply with the Council's adopted standard in terms of layout and accessibility.
- 8.14 Submitted details of a Construction Method Statement by Elmcroft are considered acceptable. A condition would be added to ensure that the measures within the approved Construction Method Statement shall be maintained and adhered to throughout the course of the development.

v) Sustainable Urban Drainage system (SUDs)

- 8.15 The submitted SuDs proposals have been reviewed by RBC Transport Strategy (Floods lead officer) and are considered acceptable subject to the SUDs being completed in accordance with the submitted and approved details. Therefore, in terms of drainage, the proposal is considered to accord with guidance contained within the NPPF and Core Strategy Policy CS35.

vi) Trees and Ecology

- 8.16 Following the submission of amended plans it is noted that replacement tree planting is now included on the Commercial Road frontage (facing the Kennet Island residential site), which is a positive improvement. The Council's Natural Environment Officer concluded that on balance, taking into account the current use of the site, the area in which it sits and required parking provision, the amount of tree planting is acceptable. Appropriate conditions will be added to secure the tree planting and associated landscaping and maintenance.

vii) Other Considerations

Sustainable Construction and Design

- 8.17 The submitted Sustainability Statement by Patrick Parsons dated September 2017 demonstrates that the proposed building will comply with Part L2A (2013) of Building Regulations. This is considered acceptable. The report highlights that additional procedures, practices, reports and design measures shall be included within the final design and construction which will contribute to achieving a 'Good' BREEAM status.

However, policy requirement is for 'Very Good' status to be achieved and therefore a condition to secure the required BREEAM rate would be added. Subject to this condition, the proposal complies with Policy CS1 and CS2 of the Core Strategy and with the Council's adopted Sustainable Design and Construction SPD (July 2011).

viii) Skills and training

- 8.18 Reading UK CIC has advised that the application site provides exciting opportunities for local employment, training and skills development. This will be of particular relevance to south Reading residents, with a large number of jobs being created which will be within the scope of those with lower skills sets. The scale and scope of the project will provide unique opportunities, and Reading UK CIC would work with the developers on an Employment and Skills Plan (as required under the Employment, Skills and Training Supplementary Planning Document, April 2013) to maximise opportunity of employment for residents, skills development, as well as routes into employment for those currently removed from the jobs market.
- 8.19 An Employment and Skills Plan will need to be secured by S106 agreement, in accordance with the Employment, Skills and Training SPD (2013).
- 8.20 Whilst an actual plan is encouraged, the SPD does allow for financial contributions to be made in lieu of a plan. The proposed S106 allows for either eventuality in accordance with the SPD. The proposal therefore complies with Core Strategy Policies CS3, CS9, CS10 and CS13 and with SDPD Policy DM3 and the Council's Employment Skills and Training SPD.

xi) Equality

- 8.21 In determining this application the Council is required to have regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sexual orientation. It is considered that there is no indication or evidence (including from consultation on the current application) that the protected groups would have different needs, experiences, issues and priorities in relation to this particular planning application.

CONCLUSION

- 8.22 The development proposed is considered to be acceptable in the context of national and local planning policy and other material considerations as set out in this report. As such the application is recommended for approval, subject recommended conditions and a s106 legal agreement to secure financial contributions to local Employment Skills.

Case Officer: Ralph Chakadya

PLANS (all plans not to scale)

